

LAND CORNER RECORDATION CERTIFICATE
Filing Requirement of Act 74, Mich. P.A. 1970

For corners in

<u>Macomb</u> (County)	Located In: City of Roseville	Corner Code # <u>F-2</u>
1. Public Land Survey	T <u>1N</u> R <u>13E</u>	<u>F-2</u>
	T <u> </u> R <u> </u>	<u> </u>
	T <u> </u> R <u> </u>	<u> </u>
	T <u> </u> R <u> </u>	<u> </u>
2. Property Controlling in Section	S <u> </u> T <u> </u> R <u> </u>	<u> </u>
	S <u> </u> T <u> </u> R <u> </u>	<u> </u>
3. Miscellaneous Property in Sec.	S <u> </u> T <u> </u> R <u> </u>	<u> </u>
	S <u> </u> T <u> </u> R <u> </u>	<u> </u>

5224603
LIBER 17422 PAGE 738


12/13/2005 01:43:19 P.M.
 MACOMB COUNTY, MI SEAL
 CARNELLA SABAUGH, REGISTER OF DEEDS

Register of Deeds Stamp & File Number

4. Lot No. _____, Recorded Plat _____
 5. Private Claims _____

A	B	C	D	E	F	G	H	I	J	K	L	M
2	6	5	4	3	2	1						
3												
4	7	8	9	10	11	12						
5												
6	18	17	16	15	14	13						
7												
8	19	20	21	22	23	24						
9												
10	30	29	28	27	26	25						
11												
12	31	32	33	34	35	36						
13												

I, Robert H. Birkett, in a field survey on, August 22, 2005 do hereby state that under requirements of P.A. 74, Michigan P.A. of 1970, the corner points mentioned in lines 1 and 2 above were in conformance with regulations and rules therefore as required in the current manual of survey instructions of the United States Department of the Interior, Bureau of Land Management or by a decree of a Court of Law and /or that the corner points mentioned in lines 3, 4 and 5 above were in conformance with the rules of the Michigan Board of Land Surveyors or by a Decree of a Court of Law; established, re-established, monumented, re-monumented, recovered, found as expressed below:

NOTE: Not more than 2 corners, all in the same town and range, may be recorded on this certificate.

A. Description of original monument and accessories and/or subsequent restoration:

- F-2 Center post section 4
 Corner was not set by GLO
- a. 1920, W. J. Lehner No. 123, "F. B. Wallace Gratiot Farms No. 1 Subdivision", L004 P035 M.C.R.
 - b. 1920, B. T. Coleman (C.E.), "Piper's Broad Acres No. 2", L004 P073 M.C.R.
 - c. 1924, W. J. Lehner No. 123, "Gratiot Masonic Park", L007 P097 M.C.R.
 - d. 1941, V. Wilson No. 3032, "Supervisor's Plat No. 6 of Sherman's Small Farms Sub'n", L020 P044 M.C.R.
 - e. 1957, B. Walker No. 42, "Venetian Village Courts", L040 P038 M.C.R.
 - f. 1959, B. Walker No. 42, "Shadowoods No. 2", L043 P027 M.C.R.
 - g. 1975, F. J. Bridges No. 5779, "Norine Subdivision", L066, P019 M.C.R.
 - h. 1978, R. Shanayda No. 13596, "Briar Hill Village", M CCP No. 126
 - i. Unknown date, C. E. Gaiser No. 22300, "Shadow Woods Condominium", M CCP No. 319
 - j. 1993, W. J. Coulter No. 14760, "Mandarin Place", M CCP No. 436
 - k. 1996, J. P. Fraus No. 17089, "Tall Pines", M CCP No. 526
 - l. 2000, H. M. Odeh No. 37763, "Spagnuolo Villa", M CCP No. 669
 - m. 2003, R. L. Smith No. 16052, "Stanford Court Condominium - Roseville", M CCP No. 844
 - n. Unknown date, Basney & Smith, Inc., Found iron pipe under asphalt., RCMC witness card
 - o. 1995, AEW, Inc., No description, Coordinate sheet.

B. Description of corner evidence found and/or method applied in restoring or reestablishing corner:

F-2 Corner is obliterated. Reestablished corner position 1.5 feet north of the centerline of Masonic (asphalt capped concrete) and 8 feet east of the centerline of Beaconsfield from existing monuments and irons of (b) in section "A" above.

Field Measurements Between Corners

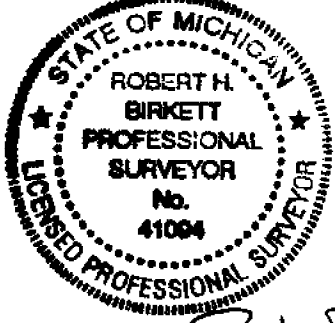
F-2 to F-1 - 2655.91', Record distance east - 2656.43', Record distance west - 2655.74', AEW, Inc. - 2656.71'
 F-2 to G-2 - 2677.99', Unknown date, AEW, Inc. - 2677.61'
 F-2 to F-3 - 2734.17'
 F-2 to E-2 - 2722.41', Record distance north - 2720.09, Record distance south - 2721.64', AEW, Inc. - 2722.07'

C. Description of monument for corner and accessories established to perpetuate locating the position of the corner:

F-2 Set 3/4" x 24" iron with an aluminum cap at the intersection of Beaconsfield and Masonic, marked "Macomb County Monument, MI, ACT 345, 41094, F-2" in a new monument box.

- Az. 45° - 40.59' - Set Macomb County Witness Tag in the southeast face traffic pole, above found SDA tag.
- Az. 135° - 41.83' - Found chiseled "x" on the northeast bolt light pole base.
- Az. 235° - 54.78' - Set Macomb County Witness Tag in the northwest face traffic pole, above found SDA tag.
- Az. 300° - 64.45' - Set chiseled "x" on the southeast bolt light pole base.

The Selected location is accepted by me and is generally accepted by Professional Surveyors as the best available evidence of the position of the original corner.



ACCEPTED BY THE MACOMB COUNTY SURVEY PEER GROUP AS THE OFFICIAL CORNER UNDER MICHIGAN PUBLIC ACT 345 OF 1990 AT A MEETING HELD ON 8-30-05
Martin C. Dunn
 MARTIN C. DUNN, P.S. CHAIRMAN

Signed by RH Birkett
 Surveyor's Michigan License No. 41094

Date 11-08-05

**Report of Survey
F-2, Erin Township
Town 1 North, Range 13 East
Macomb County, Michigan**

Corner Information

Center post section 4. Set temporary nail at a position calculated from existing monuments and conditions. Theoretical position is South 25° 24' 54" West 34.04' from the corner set.

Tax Descriptions

08-14-04-251-004
08-14-04-251-005
08-14-04-251-007
08-14-04-379-025
08-14-04-426-013

Plats

1920, W. J. Lehner No. 123, "F. B. Wallace Gratiot Farms No. 1 Subdivision", L004 P035 M.C.R.
1920, B. T. Coleman (C.E.), "Piper's Broad Acres No. 2", L004 P073 M.C.R.
1924, W. J. Lehner No. 123, "Gratiot Masonic Park", L007 P097 M.C.R.
1941, V. Wilson No. 3032, "Supervisor's Plat No. 6 of Sherman's Small Farms Sub'n", L020 P044 M.C.R.
1957, B. Walker No. 42, "Venetian Village Courts", L040 P038 M.C.R.
1959, B. Walker No. 42, "Shadowoods No. 2", L043 P027 M.C.R.
1975, F. J. Bridges No. 5779, "Norine Subdivision", L066, P019 M.C.R.

Condominiums

1978, R. Shanayda No. 13596, "Briar Hill Village", MCCP No. 126
Unknown date, C. E. Gaiser No. 22300, "Shadow Woods Condominium", MCCP No. 319
1993, W. J. Coulter No. 14760, "Mandarin Place", MCCP No. 436
1996, J. P. Fraus No. 17089, "Tall Pines", MCCP No. 526
2000, H. M. Odeh No. 37763, "Spagnuolo Villa", MCCP No. 669
2003, R. L. Smith No. 16052, "Stanford Court Condominium - Roseville", MCCP No. 844

Recorded Surveys

None

Miscellaneous

Unknown date, Basney & Smith, Inc. (RCMC), Found iron pipe under asphalt.
NE - 18.71' - Cross on west end culvert.
SSW - 42.58' - MSHD tag in D. E. pole.
SW - 75.64' - Nail in 24" Maple.
WNW - 59.49' - 3/4" steel bar.
NW - 60.43' - Center top hydrant.

1950, MDOT, Right-of-Way sheet 50-6 93
No usable information

Unknown date, AEW, Inc., No description, Coordinate sheet.
No Witnesses

Observations From F-2

Field Measurement to F-1 - 2655.91' (Existing re-monumentation monument)
Record distance east side section line - 2656.43'
Record distance west side section line - 2655.74'
Unknown date, AEW, Inc. - 2656.71'

Field Measurement to G-2 - 2677.99' (Existing re-monumentation monument)
Record distance north side section line - Unknown
Record distance south side section line - Unknown
Unknown date, AEW, Inc. - 2677.61'

Field Measurement to F-3 - 2734.17' (Existing re-monumentation monument)
Record distance east side section line - Unknown
Record distance west side section line - Unknown

Field Measurement to E-2 - 2722.41' (Existing re-monumentation monument)
Record distance north side section line - 2720.09
Record distance south side section line - 2721.64'
Unknown date, AEW, Inc. - 2722.07'

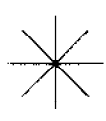
Recommendation

The recommendation to the Peer Review Board is to accept the above position as the faithful perpetuation of the corner.



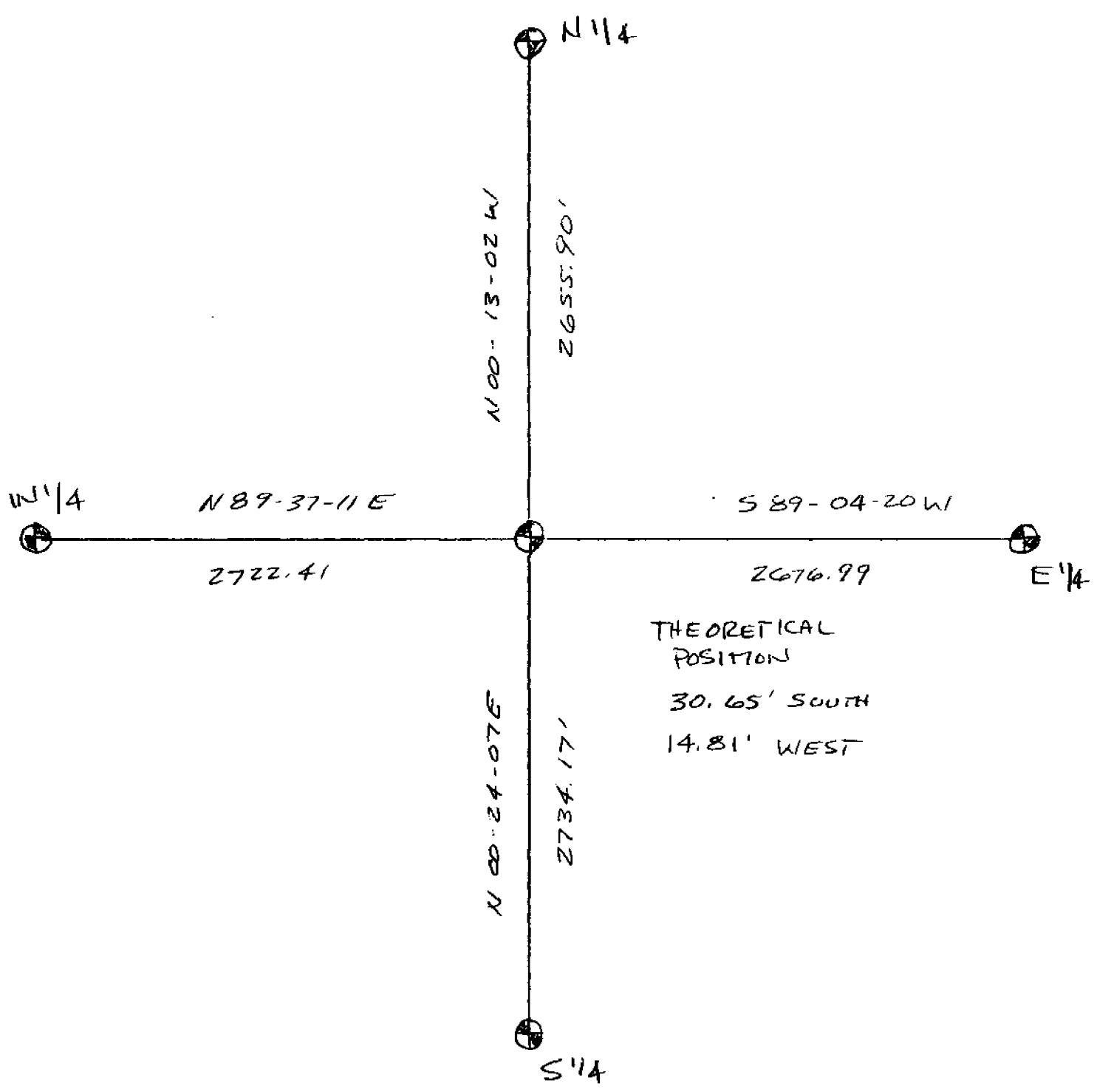
Robert H. Birkett, P.S.
Michigan No. 41094

PROJECT #: 223-026
 DESCRIPTION: F-02
 CENTER OF SECTION 4



INDICATE
 NORTH

DATE: TIN RISE
 CREW: RHB
 PAGE #: 1 OF 1



ANDERSON, ECKSTEIN, AND WESTRICK, INC.
 Civil Engineers • Surveyors • Architects

CORPORATE (586) 726-1234

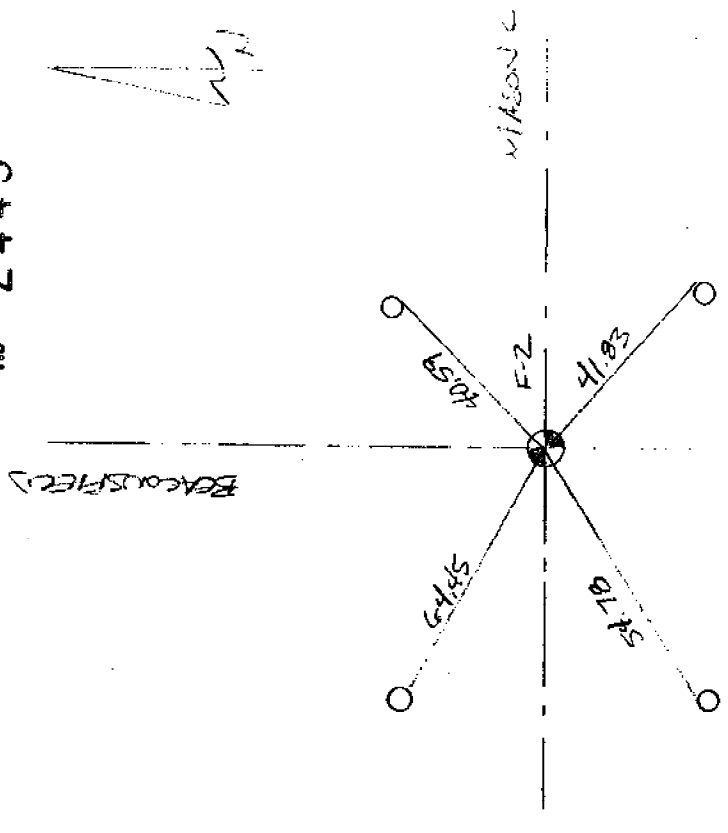
KENSINGTON (248) 446-0480

223-026 2005 MACOMBS REMON
 8-22-05 F-2
 104,003 T.1N, R.13E. ERIN-ROSEVILLE

PK IN ASPH

AZ	DET	DESC
45°	40.59	SET REMON IN SE FACE TRAFFIC POLE ABOVE FIRE SPACING DETECT. TAG
300°	64.45	SET CH'S X ON SE BOGT LIGHT POLE BASE
235°	54.78	SET REMON IN NW FACE TRAFFIC POLE ABOVE FIRE SPACING DETECT. TAG
135°	41.03	FRM CH'S X ON NE BOGT LIGHT POLE BASE

NO 2449



NW-SE
Sec. 4

SW-NE
Sec. 4

TIN - RISE



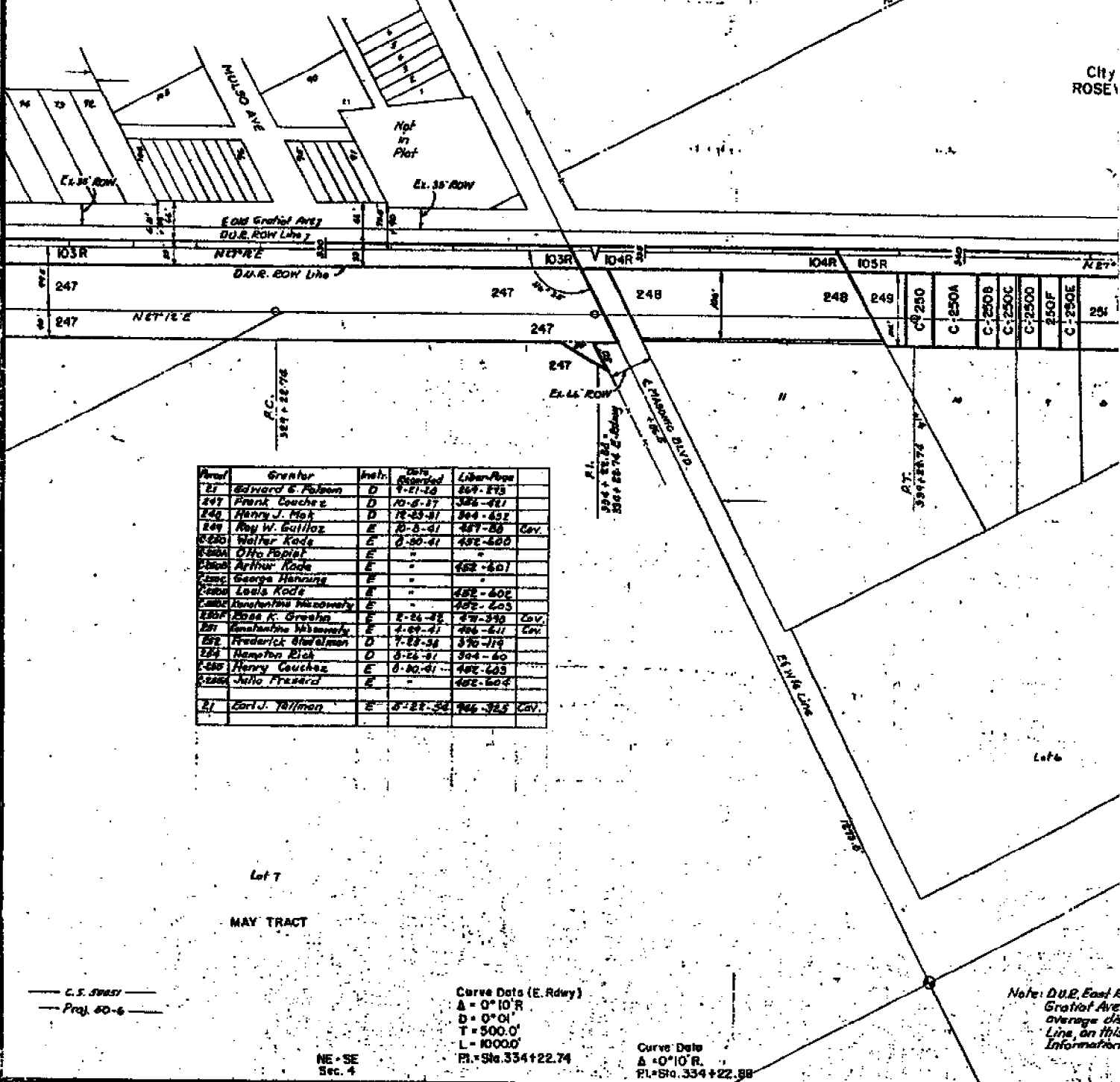
D.U.R. ROW

Parcel	Grantor	Inst.	Date Recorded	Libar-Page
103E former	Union Guardian Trust Co	D	3-18-86	343-472
103R	Loretta Kolaly	-	6-25-95	328-97

FB WALLACE'S
SUB. No. 2

FRANK MULSO'S SUB.

City
ROSEY



Parcel	Grantor	Inst.	Date Recorded	Libar-Page
247	Edward E. Johnson	D	9-21-30	369-473
247	Frank Couchez	D	10-6-37	368-481
248	Henry J. Mich	D	12-23-31	364-452
249	Ray W. Guillot	E	10-3-41	467-88
250	Walter Kade	E	8-20-41	492-480
250A	OHo Papiat	E	-	-
250B	Arthur Kade	E	-	482-481
250C	George Hohmann	E	-	-
250D	Lois Kade	E	-	482-482
250E	Konstantina Mikowaty	E	-	482-483
250F	Edna K. Green	E	2-26-42	479-390
251	Konstantina Mikowaty	E	1-24-41	486-411
252	Fredrick Stadelman	D	7-28-38	370-119
253	Hampton Rich	D	3-22-31	364-40
254	Henry Couchez	E	8-20-41	482-483
255	Julia Prasad	E	-	482-484
256	Carl J. Hoffman	E	8-21-34	466-323

Lot T

MAY TRACT

C.S. 59651
Proj. 60-6

Curve Data (E. Rdwy)
 A = 0°10' R
 B = 0°01'
 T = 500.0'
 L = 1000.0'
 PI = Sta. 334+22.74

Curve Data
 A = 0°10' R
 PI = Sta. 334+22.88

Note: D.U.R. East A
 Graef Ave
 average of A
 Line, on this
 Information

NE-SE
Sec. 4

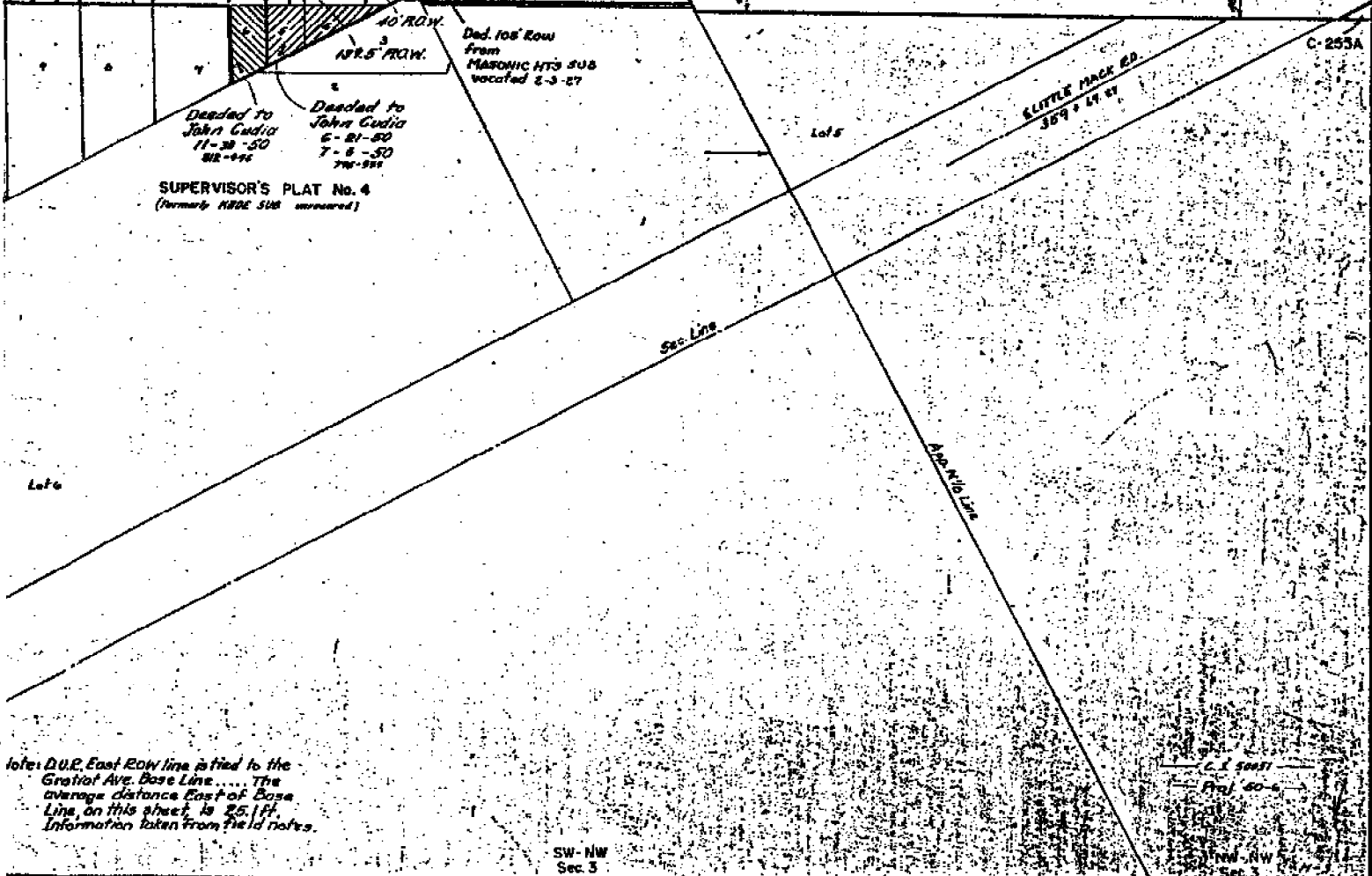
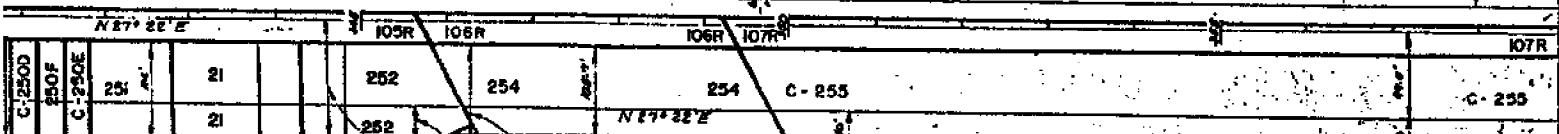
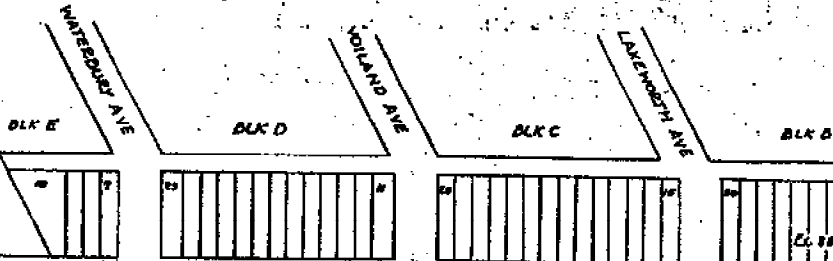
NE - NE
Sec. 4

ROUTE	COUNTY	PROJECT	SHEET
US-25	Macomb	SD-6	93
11-3			

SE - NE
Sec. 4

City of
ROSEVILLE

GRATIOT MASONIC PARK



note: D.U.P. East Row line is tied to the Gratiot Ave. Base Line..... The average distance East of Base Line on this sheet is 25.1 ft. Information taken from field notes.

SW - NW
Sec. 3

**Report of Survey
F-2, Erin Township
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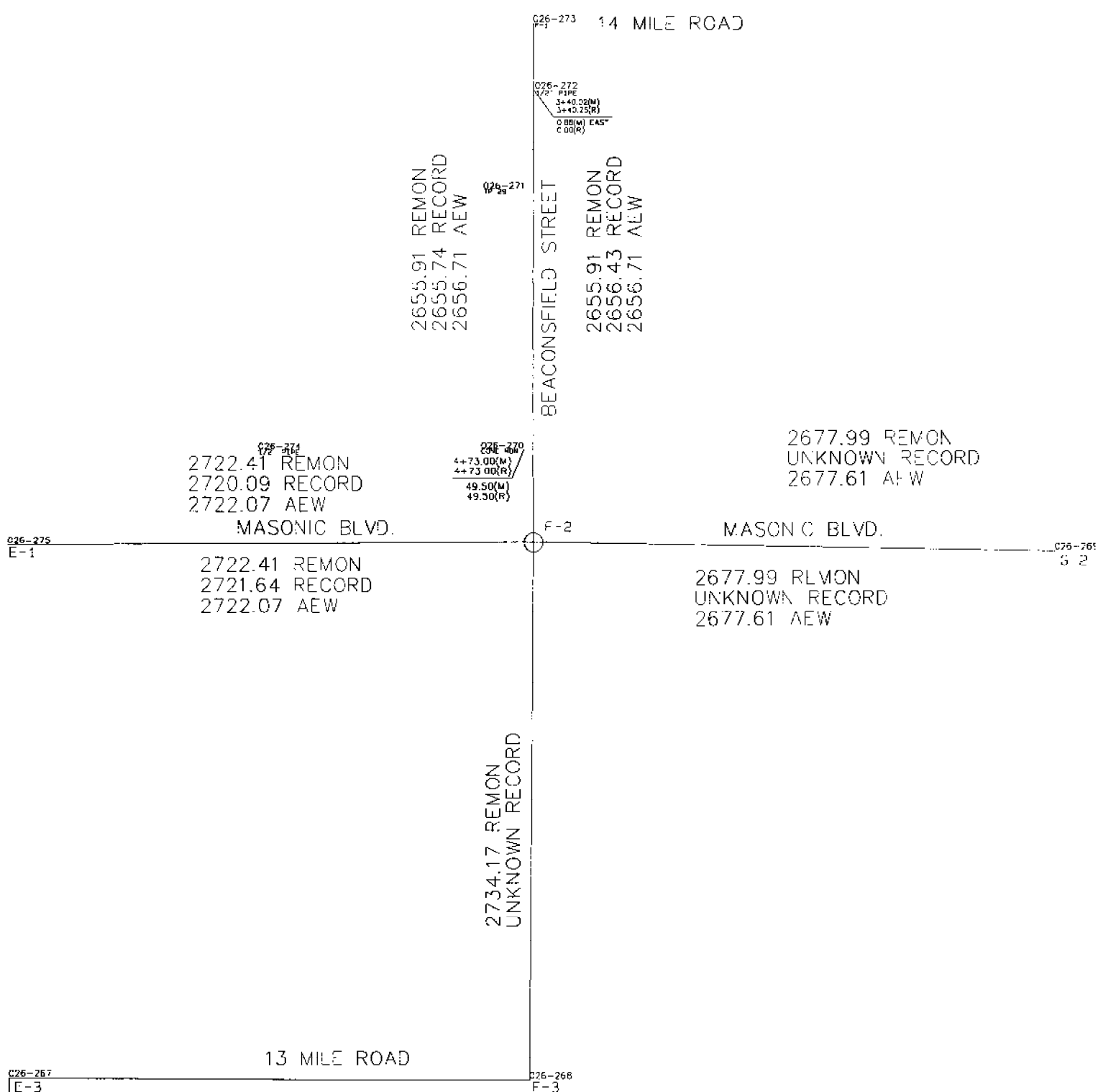
Field Measurement to F-3 - 2734.17' (Existing re-monumentation monument)
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Record distance north side section line - 2720.09
Record distance south side section line - 2721.64'
Unknown date, AEW, Inc. - 2722.07'

Witnesses

Recommendation

The recommendation to the Peer Review Board is to accept the above position as the faithful perpetuation of the corner.



026-273 14 MILE ROAD

026-272
12" PIPE
3+40.00(M)
3+40.25(R)
2 88(M) CAS
2 00(R)

2655.91 REMON
2655.74 RECORD
2656.71 AEW

026-271

BEACONFIELD STREET

2655.91 REMON
2656.43 RECORD
2656.71 AEW

026-274
2722.41 REMON
2720.09 RECORD
2722.07 AEW
MASONIC BLVD.

026-270
4+73.00(M)
4+73.00(R)
49.50(M)
49.50(R)

2677.99 REMON
UNKNOWN RECORD
2677.61 AEW

026-275
E-1

2722.41 REMON
2721.64 RECORD
2722.07 AEW

F-2

MASON C BLVD.

026-265
S-2

2677.99 REMON
UNKNOWN RECORD
2677.61 AEW

2734.17 REMON
UNKNOWN RECORD

13 MILE ROAD

026-267
E-3

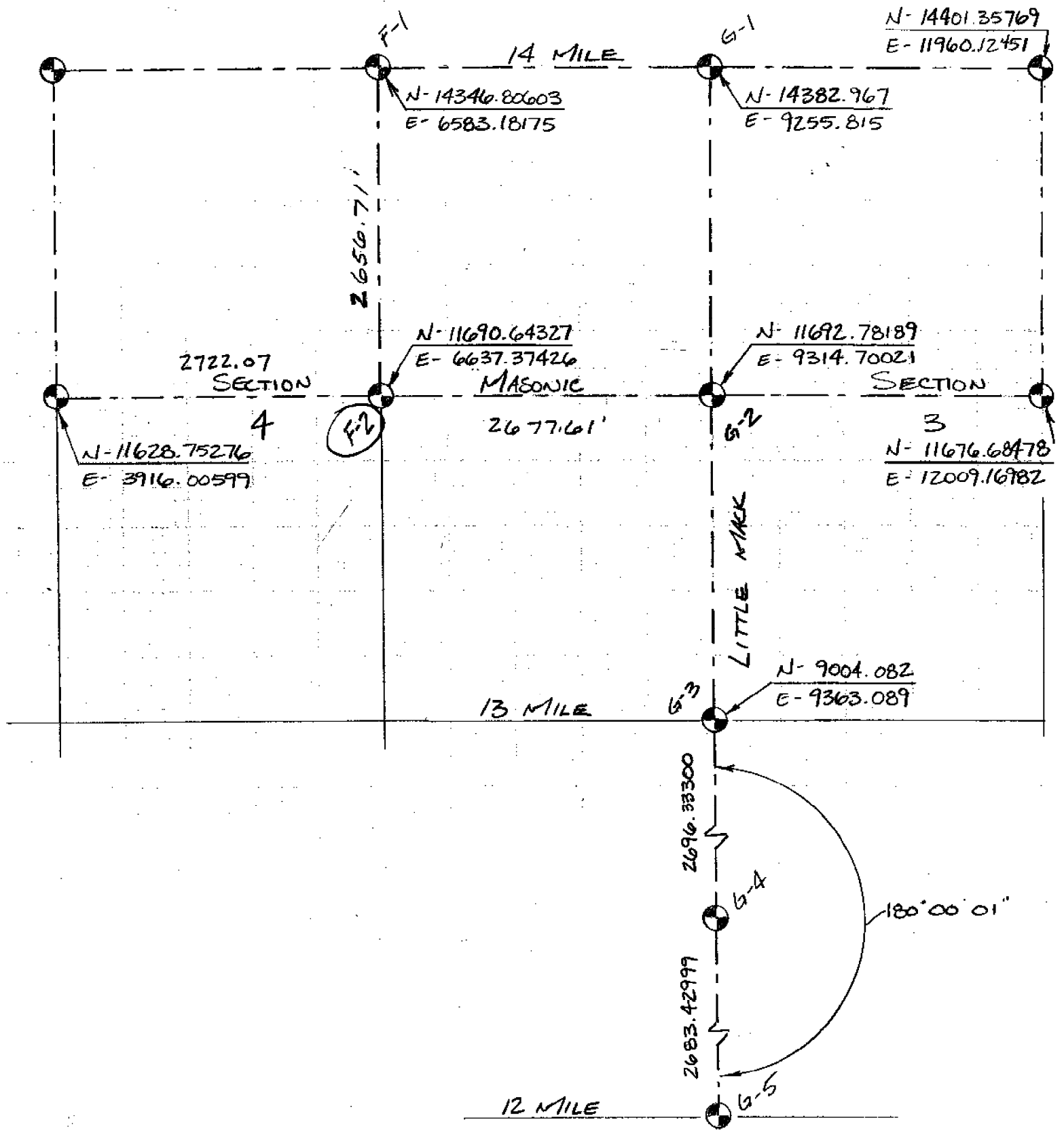
026-268
F-3

PROJECT #: 100-209,244,245,318
DESCRIPTION:
ROSEVILLE CONTROL



INDICATE
NORTH

DATE: _____
CREW: _____
PAGE #: _____ OF _____

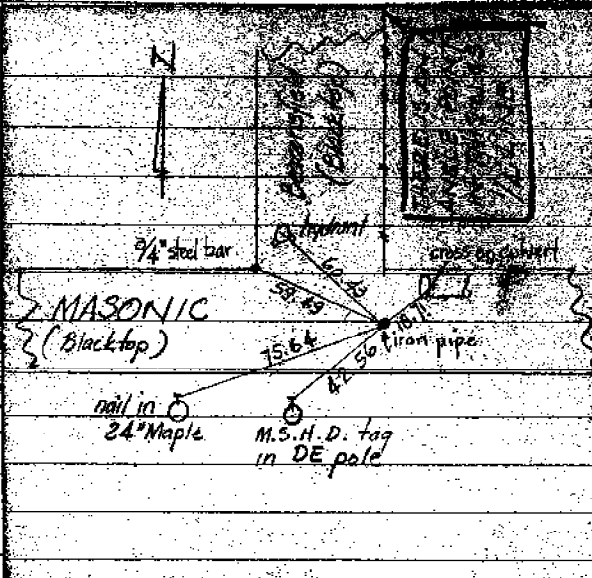


ANDERSON, ECKSTEIN, AND WESTRICK, INC.
Civil Engineers • Surveyors • Architects

CORPORATE (810) 726-1234

KENSINGTON (248) 446-0480

F-2

		ENTER SEC. 1 EDINT. 1 100' P.P. 100'
File Point No.		
Assessment		
Township		
Type of Surface		
Description	MASONIC (Blacktop)	
Monument in	nail in 24" Maple M.S.H.D. tag in DE pole	BASNEY & SMITH INC 14806 FENKELL DETROIT
1.		
2.		
3.		
4.		

MACOMB COUNTY TREASURER

TED B. WAHBY

TAX HISTORY

ROSEVILLE

Property Number: 08-14-04-251-004

Alt. Property Number:

Property Address: 32123 GRATIOT

School Code: 50030

TAX YEAR	TAX. VALUE	BASE TAX	BASE TAX DUE	INTEREST/FEES DUE	TOTAL DUE	LAST PMT
2004			0.00	0.00	0.00	
2003	0		0.00	0.00	0.00	
2002	0		0.00	0.00	0.00	
2001	0		0.00	0.00	0.00	
2000	0		0.00	0.00	0.00	
1999	0		0.00	0.00	0.00	
1998	0		0.00	0.00	0.00	
1997	0		0.00	0.00	0.00	
1996	0		0.00	0.00	0.00	
1995	0		0.00	0.00	0.00	
TOTAL			0.00	0.00	0.00	

Fees Due As Of: 01/31/05

DESCRIPTION OF PROPERTY:

SEC 4; BEG AT CEN POST SEC 4; TH N01*03'14"E 394.43 FT ALG N-S 1/4 LINE; TH S88*42'35"E 445.0 FT; TH N01*17'25"E 81.36 FT; TH S88*42'35"E 14.90 FT; TH N01*17'40"E 65.67 FT; TH S88*42'20"E 0.42 FT; TH N01*- 17'40"E 23.33 FT; TH N88*42'- 20"W 0.42 FT; TH N01*17'40"E 2.67 FT; TH S88*42'20"E 0.42 FT; TH N01*17'40"E 23.33 FT; TH N88*42'20"W 0.42 FT; TH N01*17'40"E 2.67 FT; TH S88*- 42'20"E 0.42 FT; TH N01*17'- 40"E 23.35 FT; TH N88*42'20"W 0.42 FT; TH N01*17'40"E 2.67 FT; TH S88*42'20"E 0.42 FT; TH N01*17'40"E 23.33 FT; TH N88*- 42'20"W 0.42 FT; TH N01*17'- 40"E 2.67 FT; TH S88*42'20"E 0.42 FT; TH N01*17'40"E 23.33 FT; TH N88*42'20"W 0.42 FT; TH N01*17'40"E 4.29 FT; TH S88*- 42'20"E 2.67 FT; TH S01*17'- 40"W 2.0 FT; TH S88*42'20"E 23.23 FT; TH N01*17'40"E 2.0 FT; TH S88*42'20"E 2.67 FT; TH S01*17'40"W 2.0 FT; TH S88*42'20"E 23.33 FT; TH N01*17'40"E 2.0 FT; TH S88*42'20"E 2.67 FT; TH S01*17'40"W 2.0 FT; TH S88*42'20"E 23.33 FT; TH N01*- 17'40"E 2.0 FT; TH S88*42'20"E 2.67 FT; TH S01*17'40"W 2.0 FT; TH S88*42'20"E 23.33 FT; TH N01*17'40"E 8.67 FT; TH S88*42'20"E 2.67 FT; TH S01*17'40"W 2.0 FT; TH S88*42'20"E 23.33 FT; TH N01*- 17'40"E 2.0 FT; TH S88*42'20"E 2.67 FT; TH S01*17'40"W 2.0 FT; TH S88*42'20"E 23.38 FT; TH N01*17'40"E 0.42 FT; TH S88*42'20"E 2.67 FT; TH S01*- 17'40"W 0.42 FT; TH S88*42'- 20"E 23.38 FT; TH N01*17'40"E 0.42 FT; TH

SPLIT FROM 1404251002 FOR 1986

History Fees: 0.00

Taxpayer: SEARS MERCHANDISE GROUP

333 BEVERLY RD

HOFFMAN ESTATES

IL 60179

TED B. WAHBY

----- TAX HISTORY -----

ROSEVILLE

Property Number: 08-14-04-251-005

Alt. Property Number:

Property Address: 32233 GRATIOT

School Code: 50030

TAX YEAR	TAX. VALUE	BASE TAX	BASE TAX DUE	INTEREST/FEES DUE	TOTAL DUE	LAST PMT
2004			0.00	0.00	0.00	
2003	0		0.00	0.00	0.00	
2002	0		0.00	0.00	0.00	
2001	0		0.00	0.00	0.00	
2000	0		0.00	0.00	0.00	
1999	0		0.00	0.00	0.00	
1998	0		0.00	0.00	0.00	
1997	0		0.00	0.00	0.00	
1996	0		0.00	0.00	0.00	
1995	0		0.00	0.00	0.00	
TOTAL			0.00	0.00	0.00	

Fees Due As Of: 01/31/05

DESCRIPTION OF PROPERTY:

T1N,R13E,SEC 4, GRATIOT MASONIC PK SUB, PT LOTS 23-25, ALL OF LOTS 26 THRU 31 INCL, BLOCK D, LOTS 1 THRU 5 INCL, BLOCK I, LOTS 21 THRU 40 INCL, BLOCK N, LOTS 1 THRU 20 INCL, BLOCK O, ALSO VAC STS & ALLEYS ADJ IN SD SUB, DESC AS; BEG AT A PT, DIST N01*03'14"E 394.43 FT ALG N & S LINE OF SD SEC; TH S88*42'35"E 30.50 FT FROM CEN POST SEC 4; TH N01*03'14"E 953.0 FT TO A PT ON S LINE OF SUB; TH N00*40'06"E 283.5 FT; S88*47'28"E 1930.09 FT; TH S01*08'23"W 107.76 FT; TH S88*45'07"E 61.90 FT; TH S61*17'27"E 76.90 FT; TH ALG A CURVE TO THE LEFT, 30.97 RAD OF 34.91 FT, CHD BRS S S87*00'24"E 29.97 TO WLY LINE OF SD SUB; TH S28*42'33"W 59.20 FT; TH N61*17'27"W 117.87 FT; TH N89*02'30"W 97.84 FT; TH S01*08'55"W 143.41 FT; TH N88*42'35"W 139.98 FT; TH S01*38'46"W 230.10 FT; TH S88*42'35"E 172.04 FT; TH N83*49'14"E 6.04 FT TO WLY LINE OF GRATIOT, TH ALG SD LINE S28*42'33"W 65.99 FT; TH 52.80 FT ALG CURVE TO LEFT, RAD = 54.80 FT, CHD BRS N60*41'38"W 50.78 TH N88*42'35"W 146.40 FT; TH S28*25'27"W 303.31 FT; TH S88*42'35"E 201.90 FT; TO WLY LINE OF SD SUB, TH ALG WLY LINE S28*42'33"W 127.33 FT; TH N88*42'35"W 789.55 FT; TH S01*17'25"W 13.00 FT; TH N88*42'35"W 2.74 FT; TH S01*17'40"W 9.27 FT; TH N88*42'20"W 27.67 FT; TH S01*- 17'40"W 0.42 FT; TH N88*42'- 20"W 30.0 FT; TH N01*17'40"E 0.42 FT; TH N88*42'20"W 2.67 FT; TH S01*17'40"W 0.42 FT; TH N88*42'20"W 23.33 FT; TH N01*- 17'40"E 0.42 FT; TH N88*42'- 20"W 2.67 FT; TH S01*17'40"W 0.42 FT; TH N88*42'20"W 25.33 FT; TH N01*17'40"E 0.42 FT; TH N88*42'20"W 2.67 FT; TH S01*- 17'40"W

SPLIT FR 1404251003 FOR 1995

History Fees: 0.00

Taxpayer: MACOMB MALL LLC

25800 NORTHWESTERN HWY #750

SOUTHFIELD

MI 48075

----- TAX HISTORY -----

ROSEVILLE

Property Number: 08-14-04-251-007

Alt. Property Number:

Property Address: 32435 GRATIOT

School Code: 50030

TAX YEAR	TAX. VALUE	BASE TAX	BASE TAX DUE	INTEREST/FEES DUE	TOTAL DUE	LAST PMT
2004			0.00	0.00	0.00	
2003	0		0.00	0.00	0.00	
2002	0		0.00	0.00	0.00	
2001	0		0.00	0.00	0.00	
2000	0		0.00	0.00	0.00	
1999	0		0.00	0.00	0.00	
1998	0		0.00	0.00	0.00	
1997	0		0.00	0.00	0.00	
1996	0		0.00	0.00	0.00	
1995	0		0.00	0.00	0.00	
TOTAL			0.00	0.00	0.00	

Fees Due As Of: 01/31/05

DESCRIPTION OF PROPERTY:

T1N,R13E, SEC 4, BEG AT A PT N01*03'14"E 1347.43 FT ALG N & S 1/4 LINE SEC 4 TO SW COR OF GRATIOT MASONIC PK SUB & ALG W LINE OF SUB N00*40'06"E 283.50 FT & S88*47'28"E 2060.59 FT & S61*17'27"E 10.0 FT & N28*42'33"E 70.65 FT & S61*17'27"E 110 FT TO WLY LINE GRATIOT & ALG WLY LINE S28*42'33"W 655.37 FT FROM CEN SEC 4; TH FROM POB S28*42'33"W 277.22 FT; TH N88*42'35"W 201.9 FT; TH N28*25'27"E 303.31 FT; TH S88*42'35"E 146.4 FT; TH 52.8 FT ALG CURVE TO RIGHT,RAD 54.8 FT, CHD BRS S60*41'38"E 50.78 FT TO POB 1.24 AC

SPLIT FROM 1404251003 FOR 1994

History Fees: 0.00

Taxpayer: KING VENTURE INC

25800 NORTHWESTERN HWY #750

SOUTHFIELD

MI 48075

01/18/05

MACOMB COUNTY TREASURER

TED B. WAHBY

TAX HISTORY

ROSEVILLE

Property Number: 08-14-04-379-025

Alt. Property Number:

Property Address: 31055 GRATIOT

School Code: 50030

TAX YEAR	TAX. VALUE	BASE TAX	BASE TAX DUE	INTEREST/FEES DUE	TOTAL DUE	LAST PMT
2004			0.00	0.00	0.00	
2003	0		0.00	0.00	0.00	
2002	0		0.00	0.00	0.00	
2001	0		0.00	0.00	0.00	
2000	0		0.00	0.00	0.00	
1999	0		0.00	0.00	0.00	
1998	0		0.00	0.00	0.00	
1997	0		0.00	0.00	0.00	
1996	0		0.00	0.00	0.00	
1995	0		0.00	0.00	0.00	
TOTAL			0.00	0.00	0.00	

Fees Due As Of: 01/31/05

DESCRIPTION OF PROPERTY:

CITY OF ROSEVILLE T1N,R13E SEC 4 COMM AT SW COR SEC 4; TH S89*58'23"E 2154.22 FT; TH N0*01'37"E 60.0 FT TO PT BEG; TH N0*01'37"E 250.0 FT; TH S89*58'23"E 133.81 FT; TH N64*30'05"E 298.68 FT; TH N27*25'40"E 35.16 FT; TH S62*34'20"E 270.0 FT; TH S27*25'40"W 322.21 FT; TH N89*58'23"W 511.15 FT TO PT OF BEG. 3.825 A.

History Fees: 0.00

Taxpayer: CONTINENTAL LANES

31055 GRATIOT

ROSEVILLE

MI 48066

12

----- TAX HISTORY -----

ROSEVILLE

Property Number: 08-14-04-426-013

Alt. Property Number:

Property Address: 31900 GRATIOT

School Code: 50030

TAX YEAR	TAX. VALUE	BASE TAX	BASE TAX DUE	INTEREST/FEES DUE	TOTAL DUE	LAST PMT
2004			0.00	0.00	0.00	
2003	0		0.00	0.00	0.00	
2002	0		0.00	0.00	0.00	
2001	0		0.00	0.00	0.00	
2000	0		0.00	0.00	0.00	
1999	0		0.00	0.00	0.00	
1998	0		0.00	0.00	0.00	
1997	0		0.00	0.00	0.00	
1996	0		0.00	0.00	0.00	
1995	0		0.00	0.00	0.00	
TOTAL			0.00	0.00	0.00	

Fees Due As Of: 01/31/05

DESCRIPTION OF PROPERTY:

SEC 4 N 21 ACRES OF FOLL DESC; BEG AT INTER OF WLY R/W LINE LITTLE MACK AVE & CEN OF MASONIC BLVD; TH SLY 1122.71 FT; TH N87*10'W 1636.45 FT TO E R/W GRATIOT AVE; TH NELY ALG SD R/W LINE 1274.51 FT; TH N86*30'E 1003.20 FT TO POB; EXC BEG AT PT WHICH IS S26*42'W 654.86 FT FROM INTER OF ELY LINE GRATIOT AVE & CEN LINE MASONIC BLVD; TH S26*42'W 190.0 FT; TH S89*53'50"E 175.0 FT; TH N26*42'E 190.0 FT; TH N89*53'30"W 175.0 FT TO POB; ALSO EXC COMM AT INTER E R/W LINE GRATIOT AVE & E & W 1/4 LINE SEC 4; TH S23*25'W 86.90 FT TO POB; TH S23*05'W 325.0 FT ALG E LINE GRATIOT AVE; TH N62*54'21"E 55.86 FT; TH N86*30'E 150.0 FT; TH N23*05'E 350.0 FT TO S R/W LINE MASONIC BLVD; THS86*30'W 150.0 FT ALG SD LINE; TH S62*54'21"W 85.07 FT TO POB 18.927 A

COMBINED FROM 1404426007 & 008
FOR 1986

History Fees: 0.00

Taxpayer: GRATIOT CENTER ASSOCIATES
6735 TELEGRAPH ROAD, SUITE
BLOOMFIELD HILLS MI 48301

MACOMB COUNTY CONDOMINIUM
SUBDIVISION PLAN No 126

EXHIBIT B TO MASTER DEED OF
BRIAR HILL VILLAGE,
CITY OF ROSEVILLE, MACOMB COUNTY, MICHIGAN.

DEVELOPER
MICHIGAN REALTY COMPANY
A MICHIGAN CORPORATION
24900 HARPER AVE.
ST. CLAIR SHORES, MICHIGAN.
48080

SURVEYOR
ROBERT SHANAYDA
REGISTERED LAND SURVEYOR
37014 KELLY RD.
MT. CLEMENS, MICHIGAN.
48047

PROJECT DESCRIPTION

LOTS 472 THROUGH 475 OF SPICER'S GRANT ACRES NO. 2ND A SUBDIVISION
OF A PART OF THE SOUTH 1/4 OF THE WESTMERE 1/4 OF SECTION 4, T.14.,
R. 1E., ERB TOWNSHIP, (NOW CITY OF ROSEVILLE), MACOMB COUNTY,
MICHIGAN, AS RECORDED IN LIBER 4, PAGE 73 MACOMB COUNTY RECORDS.
CONTAINS 2,020 SQUARE FEET OF LAND.

SHEET INDEX

1. TITLE, PROPERTY DESCRIPTION.
2. SURVEY PLAN.
3. SITE PLAN.
4. UTILITY PLAN.
5. FIRST FLOOR PLAN, BUILDING A,
APARTMENTS 1 THROUGH 10.
6. FIRST FLOOR PLAN, BUILDING A AND SECTION A-1,
APARTMENTS 11 THROUGH 16.
7. SECOND FLOOR PLAN, BUILDING A,
APARTMENTS 19 THROUGH 20.
8. SECOND FLOOR PLAN, BUILDING A AND SECTION B-6,
APARTMENTS 21 THROUGH 22.

ATTENTION: COUNTY REGISTER OF DEEDS
THE CONDOMINIUM SUBDIVISION PLAN BEING HEREBY
ASSIGNED IN CONSECUTIVE ORDER. WHEN A REGISTER
HAS BEEN ASSIGNED TO THIS PROJECT, IT MUST BE
PRESENTED TO THE TITLE SHEET 1, AND SURVEYOR'S
CERTIFICATE SHEET 2.

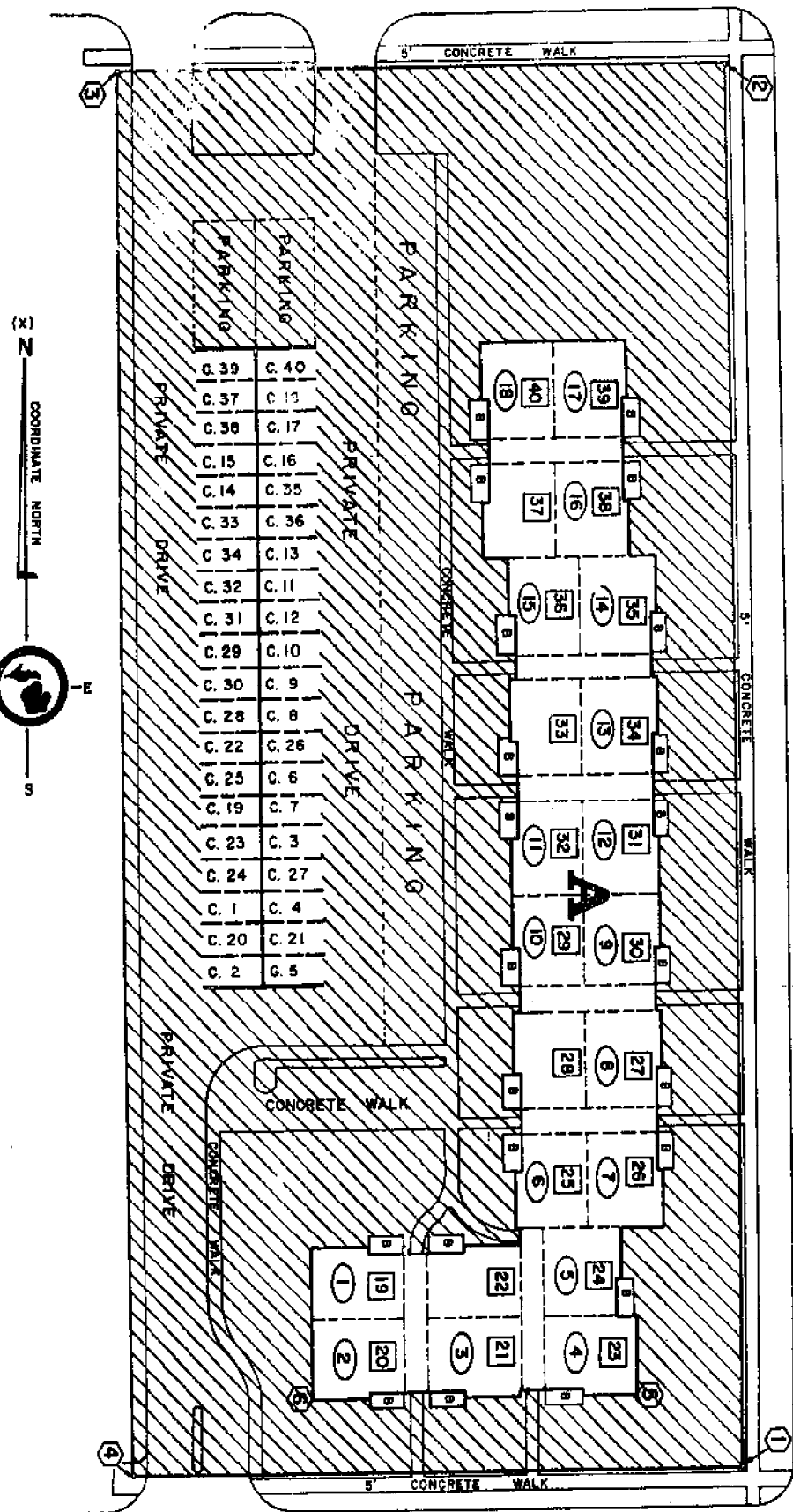
APPROVED
APR 8 5 1978
ES
MICHIGAN DEPARTMENT
OF LAND AND
CONSERVATION
COMMERCIAL RECORDS SECTION



BEACONSFIELD AVE.
(PUBLIC ROAD)

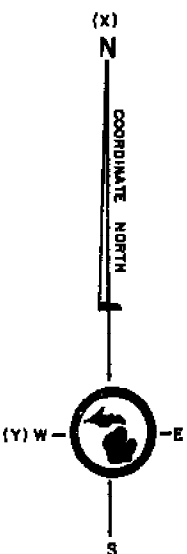
BRANDT AVE.
(PUBLIC ROAD)

MASONIC BLVD.
(PUBLIC ROAD)



COORD. POINT	NORTH (X)	EAST (Y)
1	1000.00	1000.00
2	1000.00	1000.00
3	1439.71	800.64
4	999.71	800.00
5	1024.95	966.40
6	1024.94	860.22

- GENERAL COMMON ELEMENT
- CONCRETE WALK
- SECOND FLOOR APARTMENT
- FIRST FLOOR APARTMENT
- CAR PORT, LIMITED COMMON ELEMENT
- BALCONY, LIMITED COMMON ELEMENT
- BUILDING NUMBER
- GARAGE, LIMITED COMMON ELEMENT



**SITE PLAN
BRIAR HILL VILLAGE
CITY OF ROSEVILLE
MACOMB COUNTY, MICHIGAN.**

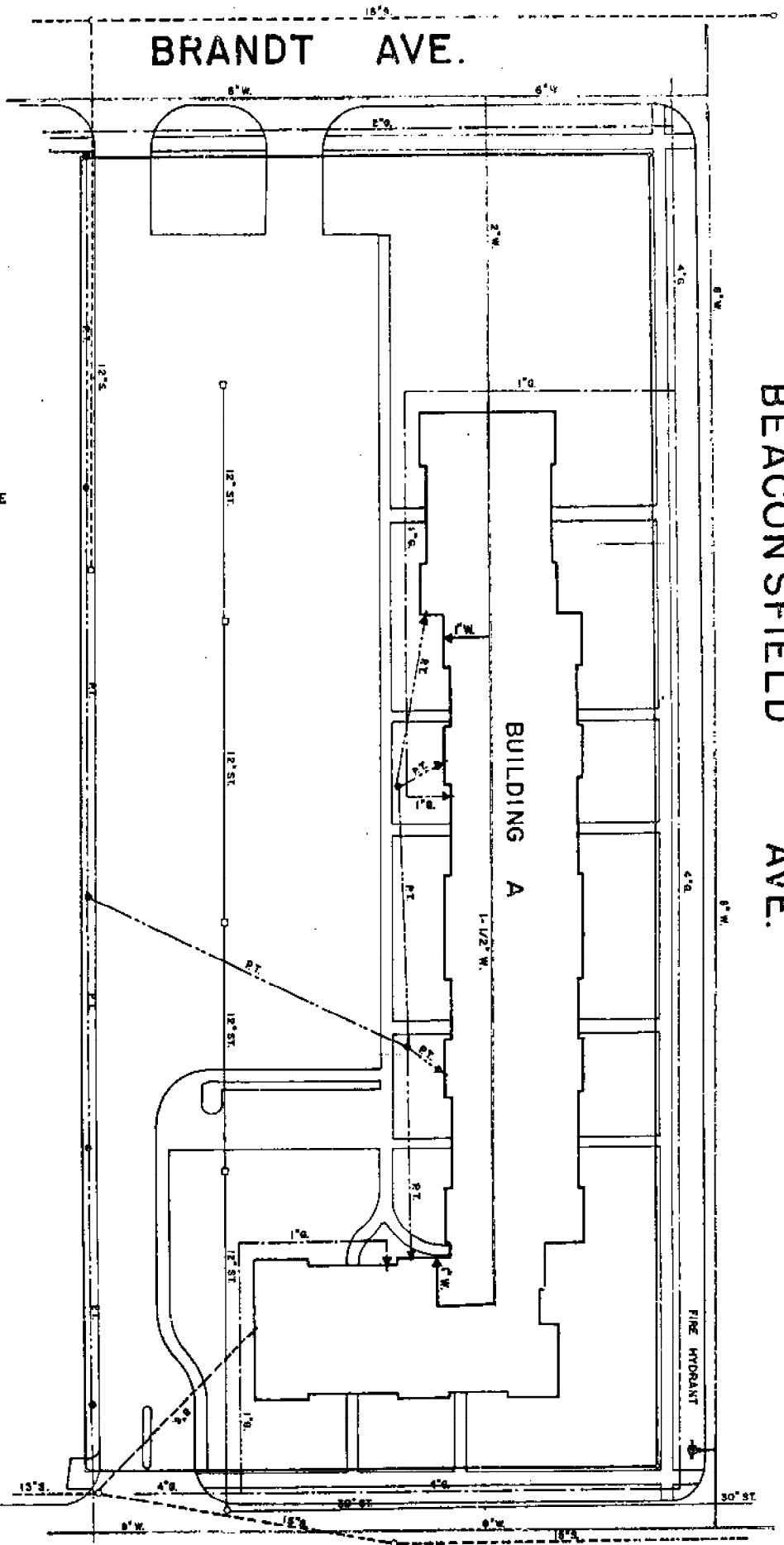


APPROVED
APR 12 1978
MICHIGAN SURVEYOR
ROBERT SHANAYVA
REGISTERED LAND SURVEYOR
37014 KELLY ROAD
MT. CLEMENS, MICHIGAN
48045 468-6113 468-4849



AS-BUILT DEC. 11, 1978
ROBERT SHANAYVA
REGISTERED LAND SURVEYOR
37014 KELLY ROAD
MT. CLEMENS, MICHIGAN
48045 468-6113 468-4849

BEACONSFIELD AVE.



UTILITY LEGEND

- ELECTRIC METER.
- GAS MAIN.
- GAS METER.
- WATER MAIN.
- WATER METER.
- SANITARY MAN HOLE.
- STORM SEWER.
- STORM MAN HOLE.
- CATCH BASIN.
- OVERHEAD POWER AND TELEPHONE.
- WOOD POWER POLE.

GENERAL NOTATIONS

ALL APARTMENTS ARE SERVICED WITH SANITARY SEWER AND WATER BY CITY OF ROSELVILLE. INFORMATION AS SHOWN, OBTAINED FROM CITY OF ROSELVILLE D.P.W. STORM SEWER AS SHOWN, INFORMATION OBTAINED FROM CITY OF ROSELVILLE D.P.W. ALL APARTMENTS ARE SERVICED WITH GAS, AS SHOWN, INFORMATION OBTAINED FROM CONSUMER POWER COMPANY RECORDS.

ALL APARTMENTS ARE SERVICED WITH POWER FROM DETROIT EDISON COMPANY. INFORMATION AS SHOWN, INDICATE APPROXIMATE LOCATIONS OF FACILITIES ONLY. UTILITIES AS SHOWN, INDICATE APPROXIMATE LOCATIONS AND DEPTHS. INFORMATION AS SHOWN, OBTAINED FROM FIELD OBSERVATION.

ALL APARTMENTS ARE SERVICED WITH TELEPHONE BY MICHIGAN BELL TELEPHONE CO. INFORMATION AS SHOWN, OBTAINED FROM FIELD OBSERVATION.

UTILITY PLAN

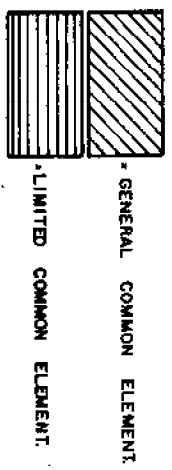
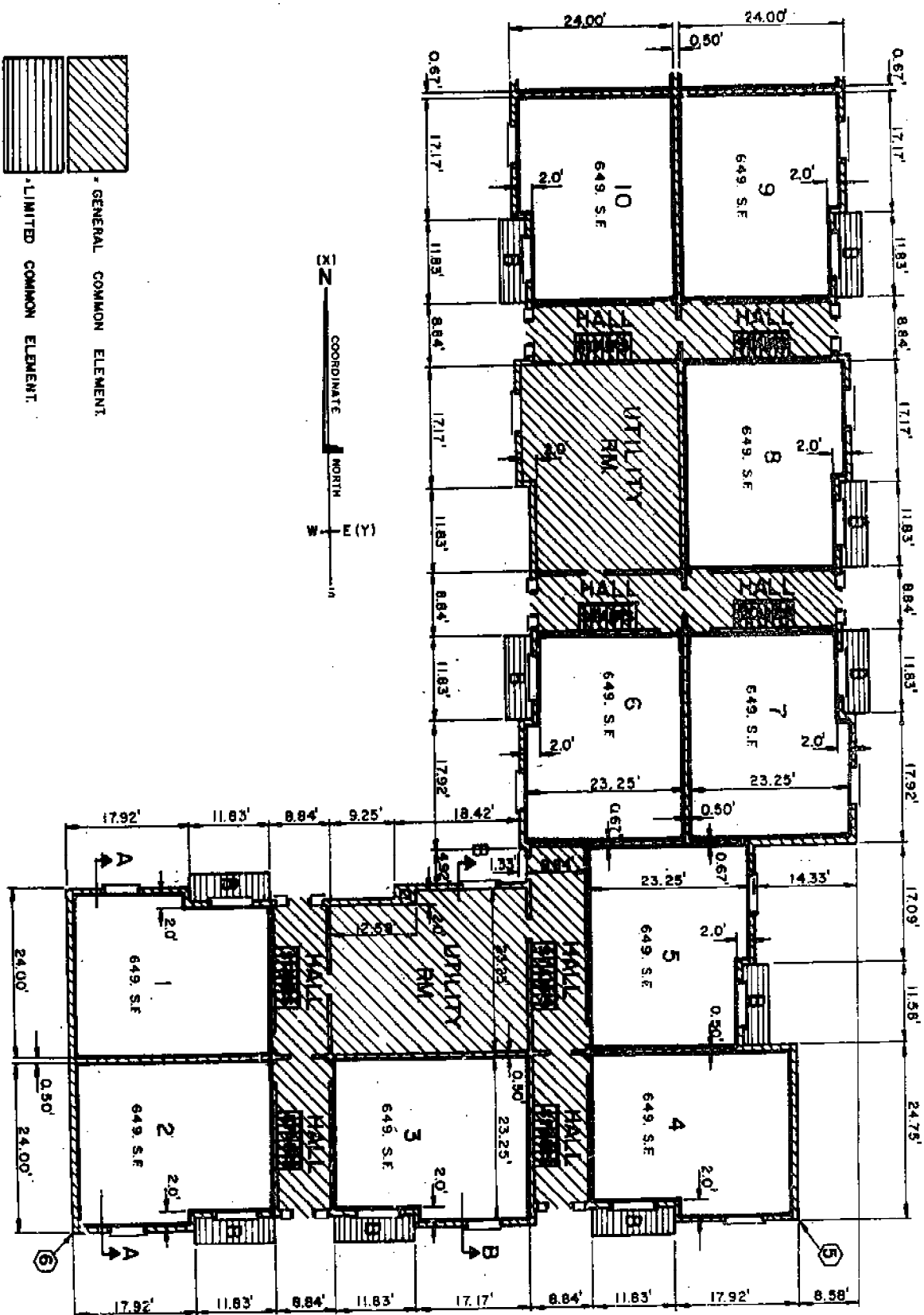
BRIAR HILL VILLAGE
SCALE: 1" = 20'
0' 20' 40' 100'

AS-BUILT DEC. 11, 1978
ROBERT SHANKOVA
REGISTERED LAND SURVEYOR
STOIR, KELLY AND MICHIGAN
N.E. CLEVELAND, MICHIGAN
PHONE 488-6113 488-4149



APPROVED
APR 3 5 1979
LINDA L. WILSON
REGISTERED PROFESSIONAL
ENGINEER
CONSTRUCTION SERVICES DIVISION

FOR BUILDING CONTINUATION
SEE SHEET 6



NOTE- ALL EXTERIOR, FIRST AND SECOND FLOOR WALLS ARE 0.75'
B- BALCONY, LIMITED COMMON ELEMENT
NOTE- ALL WALLS ARE 6\"

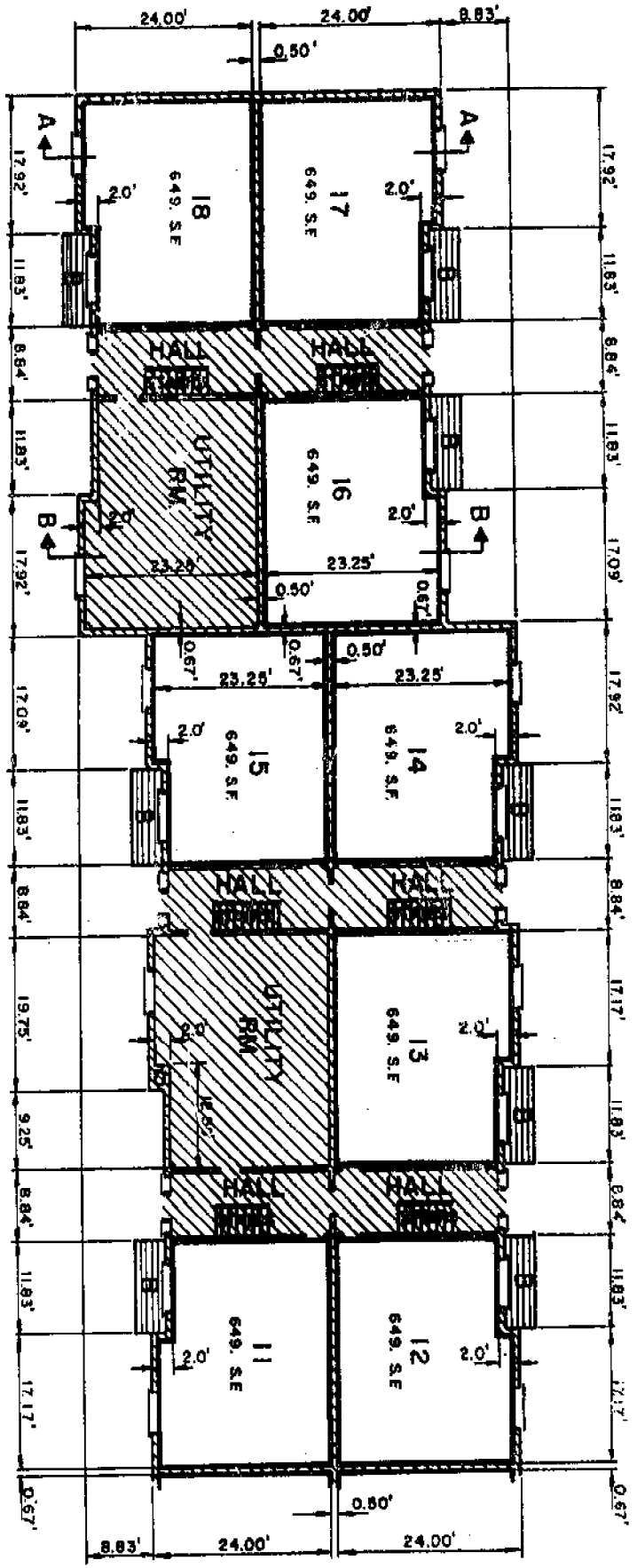
**FIRST FLOOR PLAN
BUILDING A**

BRIAR HILL VILLAGE
SCALE: 1/8\"

APPROVED
APR 25 1978
MICHAEL J. FOWLER
REGISTERED PROFESSIONAL ARCHITECT
CORPORATE & COMMERCIAL SERVICES DIVISION



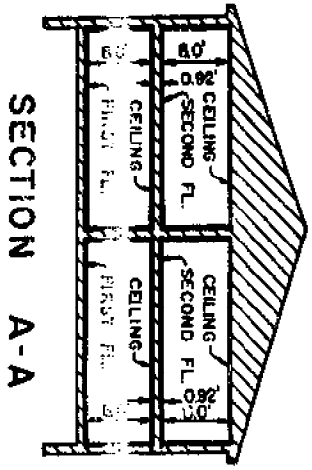
AS-BUILT DEC. 11, 1978
ROBERT SHARADA
REGISTERED LAND SURVEYOR
217 CLEMENS, MICHIGAN
48043
PHONE-468-8113 468-4849



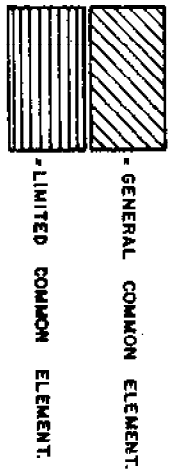
FIRST FLOOR PLAN BUILDING A



FOR BUILDING CONTINUATION
SEE SHEET 6



SECTION A-A



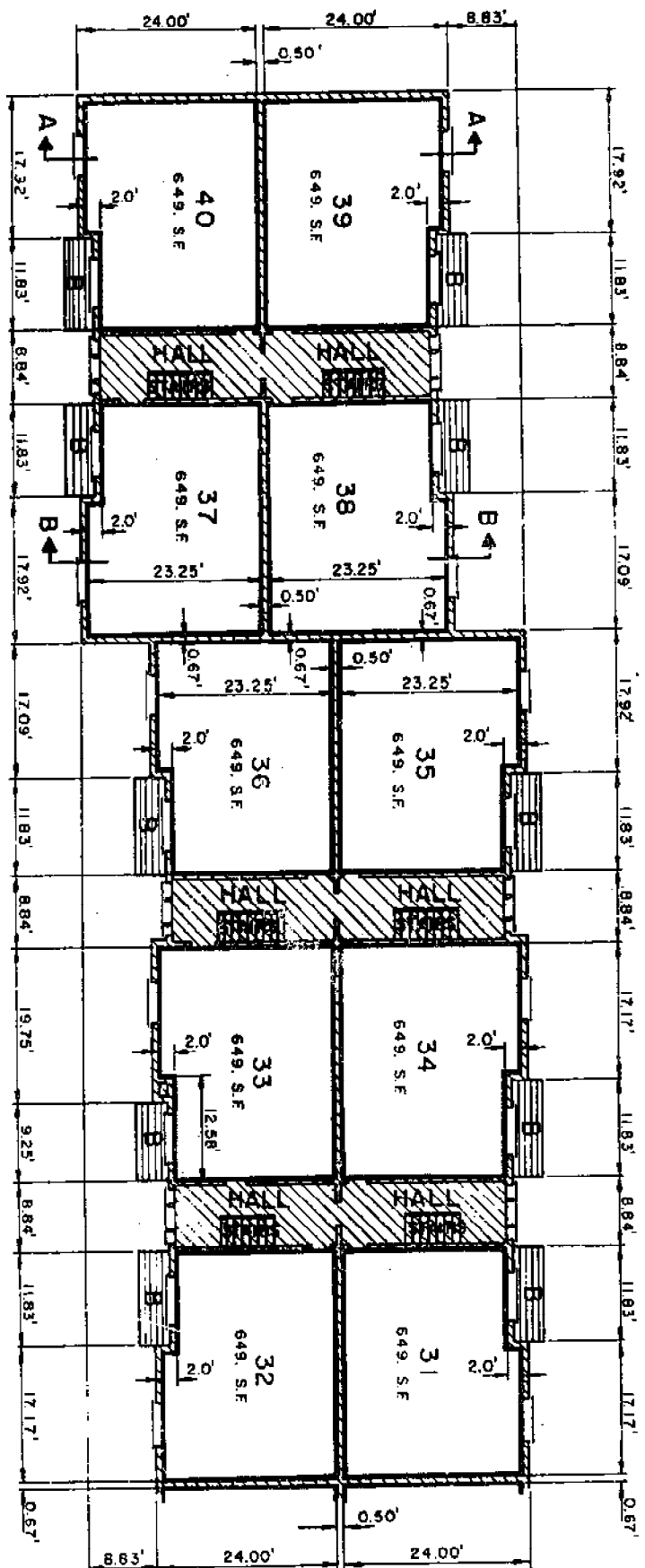
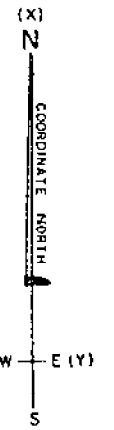
NOTE: ALL EXTERIOR FIRST AND SECOND FLOOR WALLS ARE 0.75'
Bx BALCONY LIMITED COMMON ELEMENT
NOTE: BALCONY SIZES ARE 400 FT. BY LENGTH AS SHOWN.
NOTE: FIRST FLOOR ELEVATION - 615.00 U.S.G.S. DATA.

BRIAR HILL VILLAGE
SCALE: 1/8" = 1'-0"
0' 6' 12' 18' 24' 30'

APPROVED
APR 2 1978
ROBERT ST. LAYDA
REGISTERED LAND SURVEYOR
37014 KELLY ROAD
MT. CLEMENS, MICHIGAN
48043-469-4113 403-4849

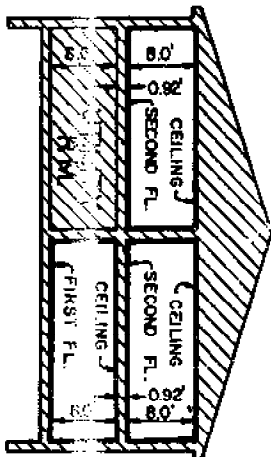


AS-BUILT DEC. 11, 1978
ROBERT ST. LAYDA
REGISTERED LAND SURVEYOR
37014 KELLY ROAD
MT. CLEMENS, MICHIGAN
48043-469-4113 403-4849

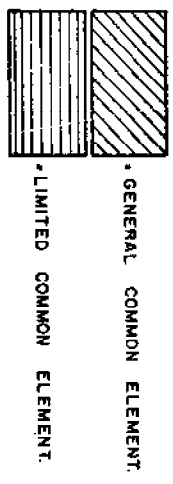


FOR BUILDING CONTINUATION
SEE SHEET 7

SECOND FLOOR PLAN BUILDING A



SECTION B-B



NOTE: ALL EXTERIOR FIRST AND SECOND FLOOR WALLS ARE 075'
B* BALCONY, LIMITED COMMON ELEMENT
NOTE: BALCONY SIZES ARE 400 FT. BY LENGTH AS SHOWN.

BRIAR HILL VILLAGE
SCALE - 1/8" = 1'-0"
0' 6' 12' 30'

APPROVED
ANN B. LITTE
REGISTERED LAND SURVEYOR
MICHIGAN
COMMERCIAL SURVEYING COMPANY



AS-BUILT DEC. 11, 1978
ROBERT SHANKYDA
REGISTERED LAND SURVEYOR
37014 KELLY ROAD
W. FIELDS, MICHIGAN
41065
PHONE: 468-5113 465-9848

116005938P5626

MACOMB COUNTY CONDOMINIUM SUBDIVISION PLAN NO. 436 EXHIBIT "B" TO THE MASTER DEED MANDARIN PLACE CITY OF ROSEVILLE, MACOMB COUNTY, MICHIGAN

ATTENTION: COUNTY PLAZA OF DEED
The Government Guaranty Plan Number 436, as
shown on the Condominium Subdivision Plan, is
not being recorded with a Survey
or other system in the City of Roseville,
Michigan, and is not being
recorded with the County of Macomb.

LEGAL DESCRIPTION

PART OF LOT 18, "HARRISON FARMS", A SUBDIVISION OF THE NORTH 1/2 OF THE N.W. 1/4 OF SECTION 4,
T.1 N., R.13 E., CITY OF ROSEVILLE, MACOMB COUNTY, MICHIGAN, AS RECORDED IN LIBER 3 OF PLATS,
PAGE 181 OF MACOMB COUNTY RECORDS, DESCRIBED AS FOLLOWS:
COMMENCING AT THE NORTH-EAST CORNER OF SAID LOT 18 AND PROCEEDING THENCE S 0° 18' E. 60.00 FEET
ALONG THE EAST LINE OF SAID LOT 18 TO THE POINT OF BEGINNING; THENCE CONTINUING S 87° 0' E. ALONG
SAID LOT LINE A DISTANCE OF 137.50 FEET; THENCE S 89° 56' 30" W. A DISTANCE OF 200.00 FEET;
THENCE N 67° 18' 00" W. A DISTANCE OF 140.94 FEET; THENCE S 89° 44' 35" E. A DISTANCE OF 200.00 FEET TO
THE POINT OF BEGINNING. CONTAINS 0.4392 ACRES OF LAND.

INDEX OF DRAWINGS

DRAWING NO	DRAWING TITLE
1	COVER SHEET
2	SURVEY PLAN
3	SITE PLAN
4	UTILITY PLAN
5	FIRST FLOOR PLAN
6	SECTION AND FOUNDATION PLAN

DEVELOPER

MARLOW DEVELOPMENT COMPANY
12345 TWELVE MILE ROAD
WARREN, MICHIGAN 48093

SURVEYOR / PREPARER

GEORGE JEROME & COMPANY
28312 HAYES ROAD
ROSEVILLE, MICHIGAN 48865
(313) 774-3000



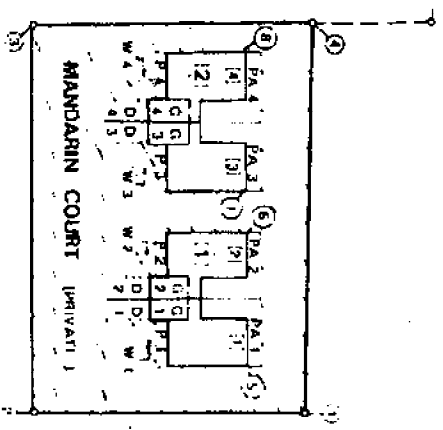
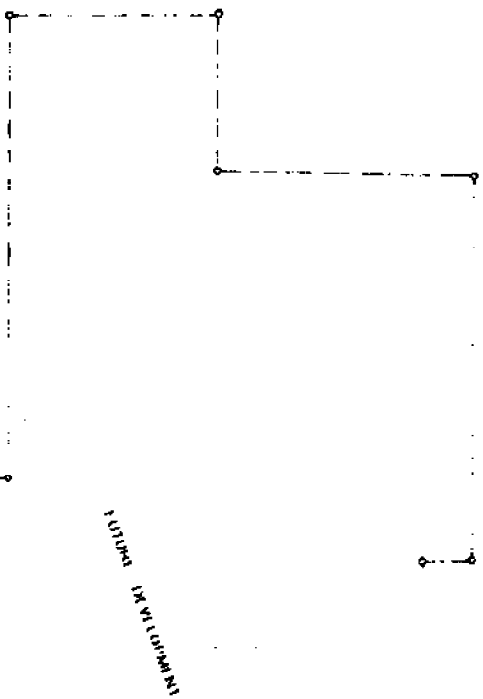
PROPOSED JUNI 28, 1993

COVER SHEET

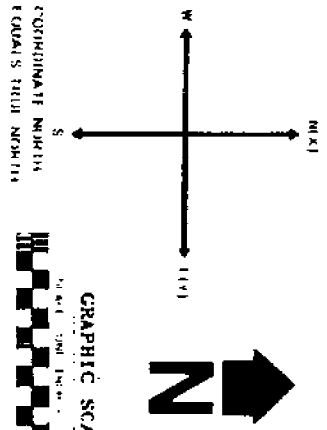
DATE	2.1.93	SCALE	AS SHOWN
DRAWN BY	J.M.C.	CHECKED BY	J.M.C.
DESIGNED BY	J.M.C.	APPROVED BY	J.M.C.
PROJECT NO.	436	SHEET NO.	1

SCHEDULE OF COORDINATE POINTS

NO.	NORTH (X)	EAST (Y)
1.	2000.00	2000.00
2.	1862.50	2000.72
3.	1862.30	1800.72
4.	2002.23	1789.98
5.	1973.97	1975.14
6.	1973.90	1905.14
7.	1873.88	1885.14
8.	1973.81	1815.14



BEACONSFIELD AVE. (PUBLIC)
148.5' WIDE



- LEGEND**
- 1 COORDINATE NUMBER
 - 2 BUILDING NUMBER
 - 3 UNIT NUMBER
 - 4 GARAGE (INDICATED BY SHOWN ELEMENT)
 - 5 DRIVEWAY (INDICATED BY SHOWN ELEMENT)
 - 6 REAR (INDICATED BY SHOWN ELEMENT)
 - 7 WALK (INDICATED BY SHOWN ELEMENT)
 - 8 WATER (INDICATED BY SHOWN ELEMENT)

- NOTES**
1. ALL UTILITY SYSTEMS ELEMENT AREAS ARE LARGELY SHOWN BY SHOWN WITH IN AND EXTERIOR.
 2. REFER TO SHEET 6 FOR THE MAIN AND EXTERIOR ELEVATIONS.
 3. REFER TO SHEET 7 FOR ANN. & SECTION COURT WITH UNIT DIMENSIONS, STAIRS, PORTALS AND UNIT ELEVATIONS.
 4. UNITS 1, 2, 3, 4 & 5 ARE NOT IN THIS PLAN.

SITE PLAN

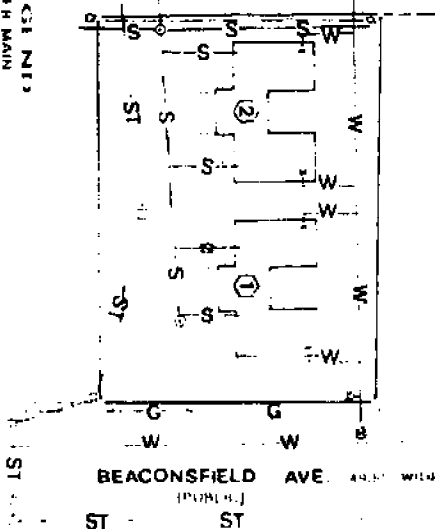
PROPOSED JUNI 28, 1941
MANDARIN PLACE



 JUNI 28, 1941
 3

THE LOCATION OF UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING IS FROM EXISTING RECORDS AND GOVERNMENT SURVEY DATA AND IS NOT GUARANTEED AS TO THE COMPLETENESS OR ACCURACY THEREOF.

- UTILITY LEGEND**
- W - WASH MAIN
 - H - HOT HYDRANT
 - X - WATER METER
 - W - WATER GATE & WELL
 - ST - STORM SEWER
 - SM - STORM MANHOLE
 - C - CATCH BASIN
 - S - SANITARY SEWER
 - SM - SANITARY MANHOLE
 - OU - OVERHEAD UTILITIES
 - G - GAS MAIN



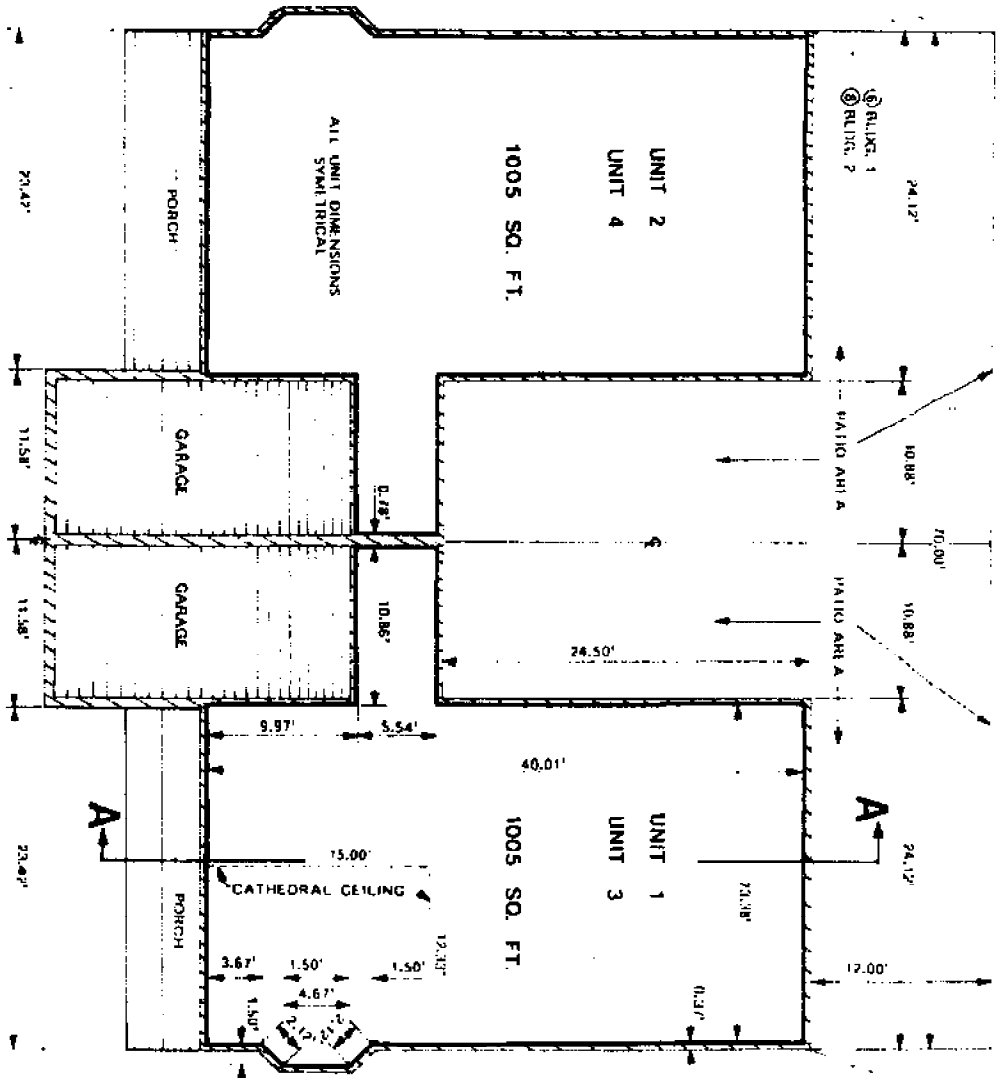
NOTES
1. ALL UTILITIES SHOWN ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY DATA. THE LOCATION OF UTILITIES MAY VARY FROM THAT SHOWN ON THIS DRAWING.

UTILITY PLAN

PROPOSED JANU 28, 1993
MANDARIN PLACE



DATE	DESCRIPTION	BY	CHECKED
1/28/93	UTILITY PLAN	[Signature]	[Signature]
1/28/93	UTILITY PLAN	[Signature]	[Signature]
1/28/93	UTILITY PLAN	[Signature]	[Signature]



FIRST FLOOR PLAN



FLOOR PLAN

PROPOSED JANU 24, 1963
MANDARIN PLACE

LEGEND

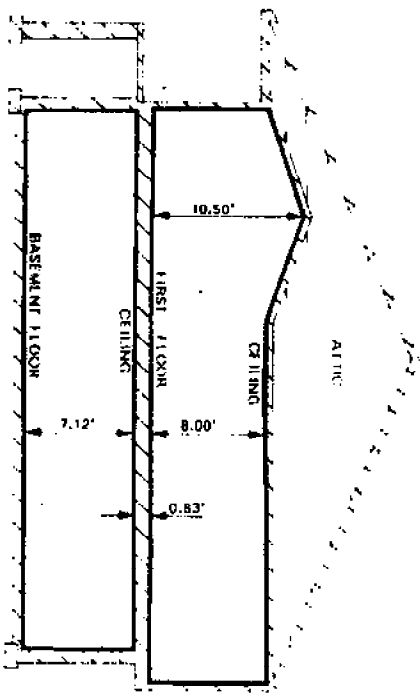
- 1. UNITS
- 2. COMMON ELEMENTS
- 3. COMMON ELEMENTS
- 4. COMMON ELEMENTS
- 5. COMMON ELEMENTS

NOTES

1. ALL WALLS ARE AT 90° DEGREES.
2. ALL EXTERIOR WALLS ARE 8" THICK.
3. SEE TO SEE & FOR EXTERIOR WALLS AND UNIT EXTERIOR WALLS.



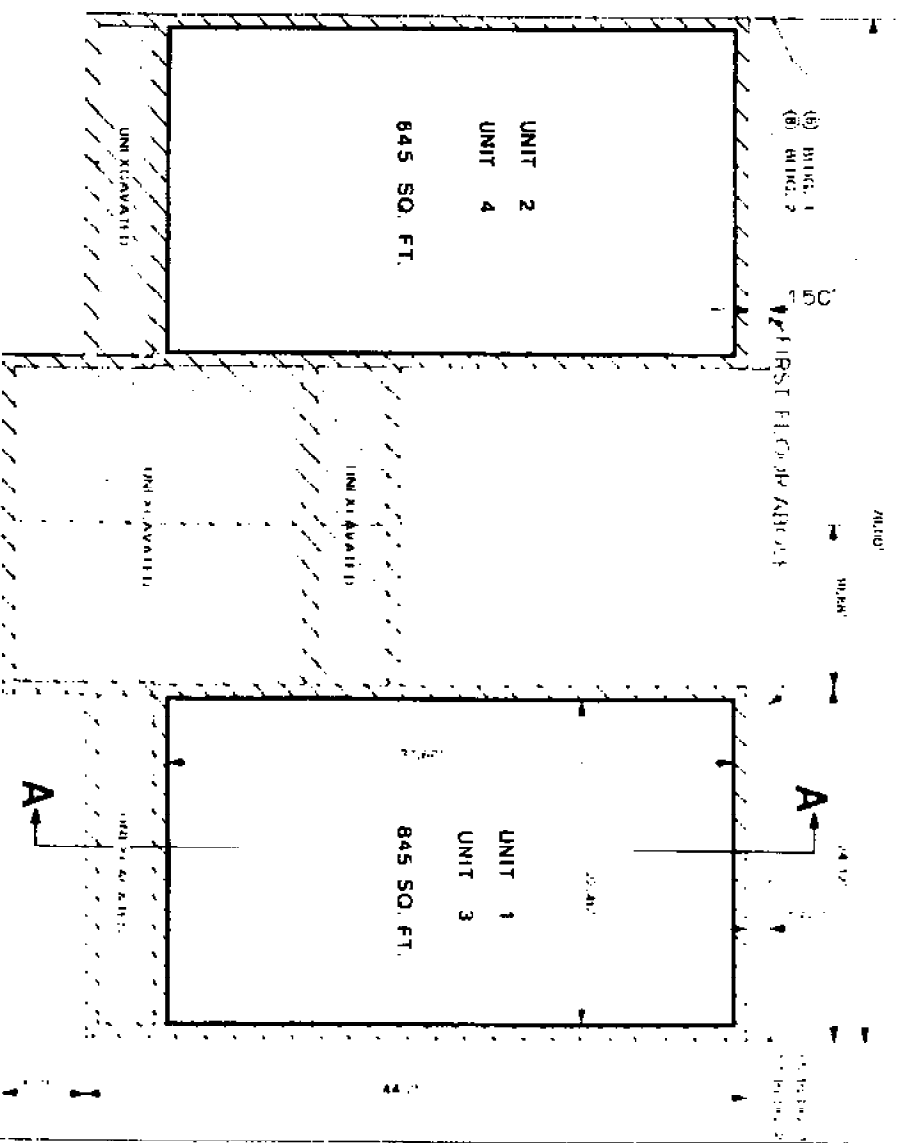
DATE	1/24/63
SCALE	AS SHOWN
PROJECT	MANDARIN PLACE
NO.	5



GRAPHIC SCALE
SCALE: 1/8" = 1'-0"

SCHEDULE OF FLOOR ELEVATIONS

UNIT	FLOOR ELEVATION
1	616.30
2	616.30
3	615.80
4	615.80



GRAPHIC SCALE
SCALE: 1/8" = 1'-0"

MANDARIN PLACE

PROPOSED UNIT 2H, 2H.1



LEGEND

- 1 GENERAL CONSTRUCTION LIMITS FOR CONSTRUCTION
- 2 LIMITED COMMON ELEMENTS
- 3 CORRIDOR/STAIR
- 4 AUTO
- 5 DRIVE
- 6 FIRST FLOOR ABOVE
- 7 UNIT EXCAVATED

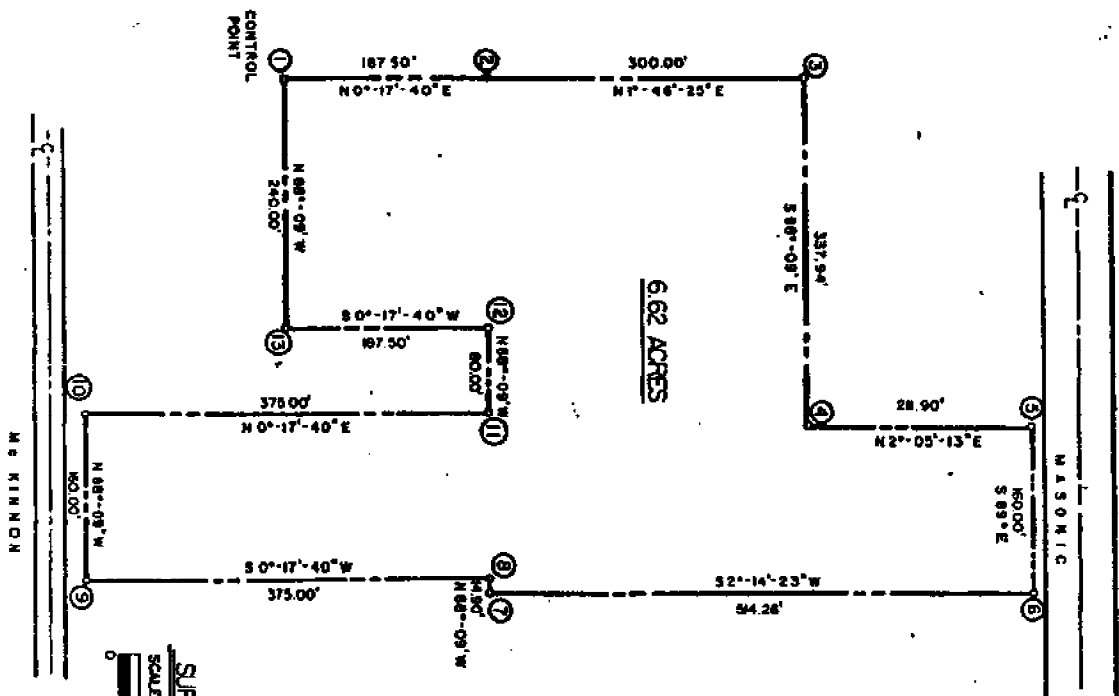
NOTES

- 1 ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.
- 2 ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.

SECTION AND FOUNDATION PLAN

ARCHITECT

046821220



SCALE: 1"=50'

0 50 100 200

SURVEY PLAN

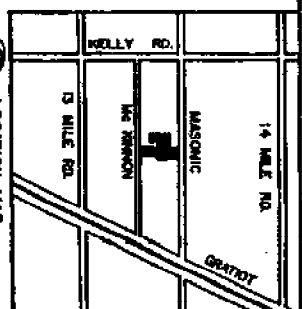


BOUNDARY POINT COORDINATES

PT.	EAST	NORTH
1	1000.00	1200.00
2	400.96	1387.50
3	1010.25	1687.35
4	1348.01	1676.42
5	1365.73	1688.18
6	1515.70	1685.39
7	1495.61	1371.82
8	1480.71	1372.00
9	1478.79	997.01
10	1318.87	1002.17
11	1320.80	1377.17
12	1240.84	1379.75
13	1239.87	1192.25



LOCATION MAP
NO. SCALE

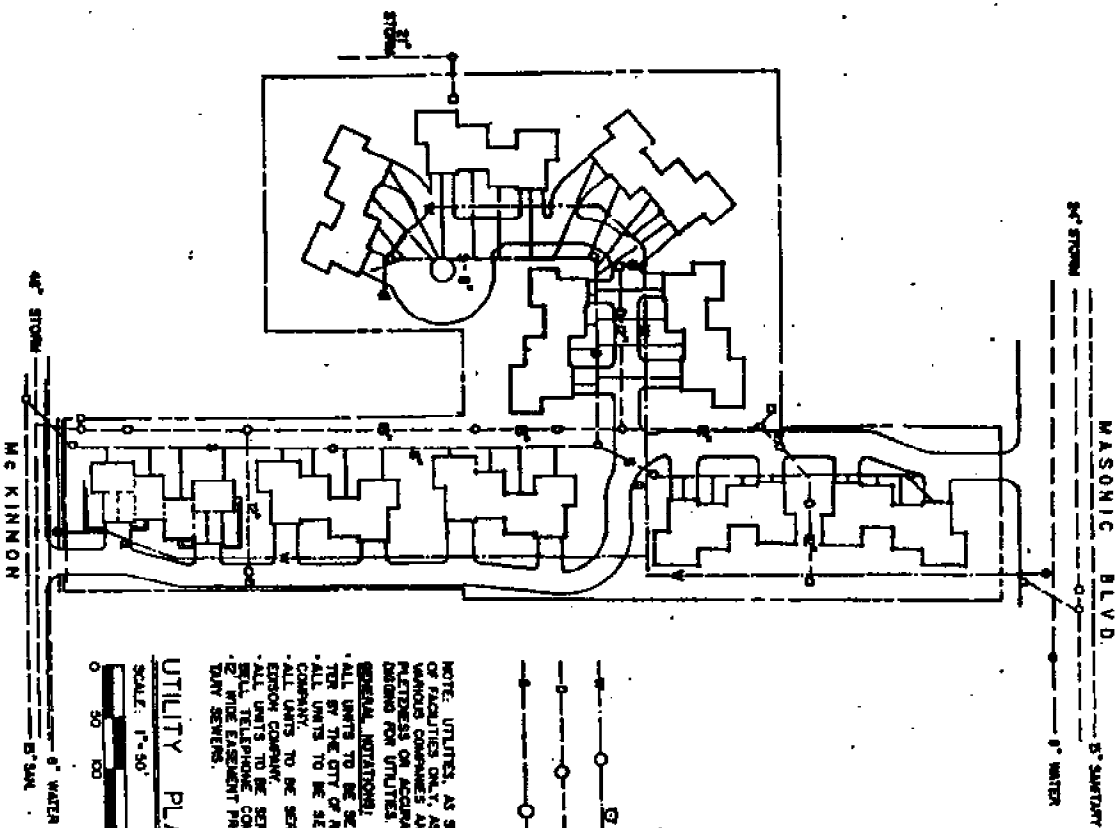


SHEET 2

Paul & Sons
Surveyors

SHADOW WOODS CONDOMINIUM
ROSEVILLE, MICHIGAN

LINE 046821222



UTILITY LEGEND

- — SWER MAIN, GATE VALVE, MISC. MOUNT
- — STORM MAIN, SW, and CR.
- — SANITARY SEWER, SW

NOTE: UTILITIES, AS SHOWN, INDICATE APPROXIMATE LOCATIONS OF FACILITIES ONLY. AS DETERMINED AFTER THE REVIEW OF THE RECORDS OF THE CITY OF ROSELLE, THE OWNER IS TO CONTACT THE CITY OF ROSELLE FOR THE RECORDS OF THE UTILITIES DEPARTMENT FOR UTILITIES.

GENERAL NOTATIONS:

- ALL UNITS TO BE SERVICED WITH SANITARY SEWER AND WATER BY THE CITY OF ROSELLE.
- ALL UNITS TO BE SERVICED WITH GAS BY COMSUMER POWER COMPANY.
- ALL UNITS TO BE SERVICED WITH ELECTRICITY BY DETROIT EDISON COMPANY.
- ALL TELEPHONE SERVICES WITH TELEPHONE BY MICHIGAN STATE TELEPHONE COMPANY.
- PRICE EXPONENT PROVIDED FOR NEW WATER MAIN AND SANITARY SEWERS.

UTILITY PLAN



SHEET 4

MC KINNON

MASONIC BLVD.

SHADOW WOODS CONDOMINIUM
ROSELLE, MICHIGAN

Carl E. Quinn
Shaded

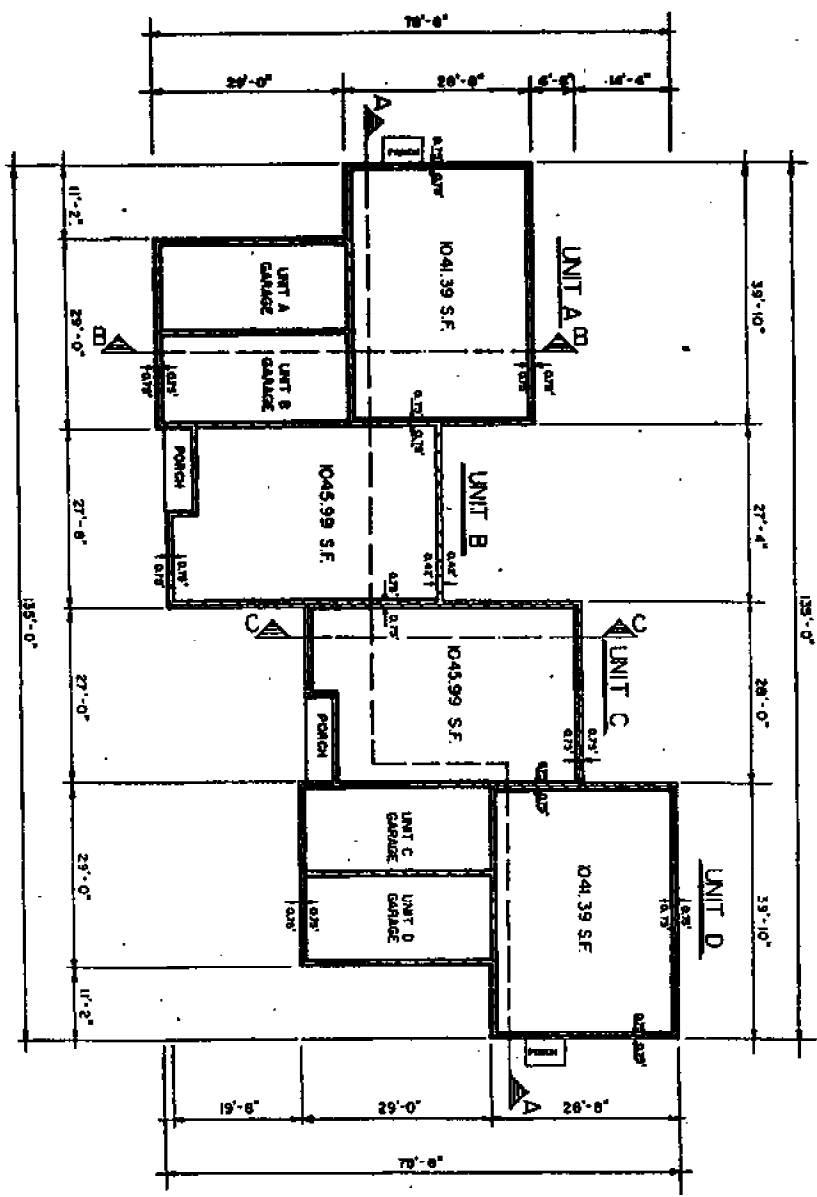
INDEX 04682N224

NOTE: ALL WALLS, FLOORS, ROOF AND CEILING ARE AS SHOWN UNLESS NOTED OTHERWISE.
 * PORCH AND GARAGE ARE LIMITED COMMON ELEMENT.



COMMON COMMON ELEMENT

LIMITS OF OWNERSHIP



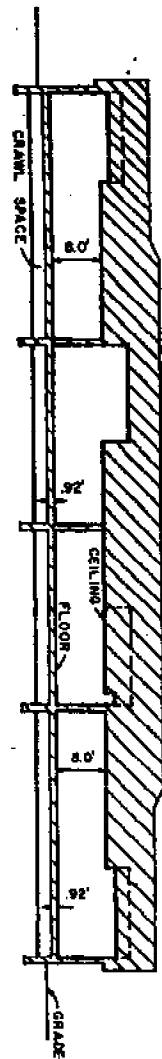
TYPICAL FLOOR PLAN



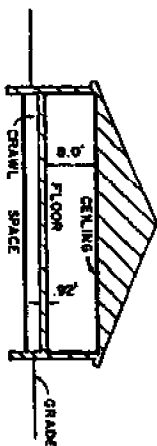
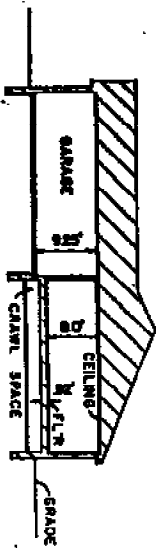
SHEET 6

 Carl E. Green Architect 1000 N. State Street Roseville, Michigan 48069	REVISIONS NO. DESCRIPTION 1 2 3 4 5	SHADOW WOODS CONDOMINIUM ROSEVILLE, MICHIGAN
	DATE: 10/15/03 DRAWN BY: J. J. [unclear] CHECKED BY: [unclear]	PROJECT NO.: 04682N224 SHEET NO.: 6

UNIT 04682/225



TYPICAL SECTIONS




GENERAL COMMON ELEMENT

--- LIMITS OF OWNERSHIP ---

NOTE: ALL WALLS, FLOORS AND CEILINGS ARE AT EACH OTHER'S TO UNITS AND COMMON ELEMENTS.



SHEET 1

 ARCHITECT 2004 BOND STREET FARMINGDALE, MISSISSIPPI	UNIT NO. _____ UNIT NO. _____ UNIT NO. _____ UNIT NO. _____ UNIT NO. _____	DATE _____ DATE _____ DATE _____ DATE _____ DATE _____	SHADOW WOODS CONDOMINIUM ROSEVILLE, ARIZONA
	NO. _____ NO. _____ NO. _____ NO. _____ NO. _____	NO. _____ NO. _____ NO. _____ NO. _____ NO. _____	NO. _____ NO. _____ NO. _____ NO. _____ NO. _____

ATTENTION: COUNTY REGISTER OF DEEDS
THE CONDOMINIUM SUBDIVISION PLAN NUMBER MUST BE
ASSIGNED IN CONSECUTIVE SEQUENCE. WHEN A NUMBER
HAS BEEN ASSIGNED TO THIS PROJECT, IT MUST BE
PROPERLY SHOWN IN THE TITLE SHEET 1 AND THE
SURVEYOR'S CERTIFICATE, SHEET 1.

MACOMB COUNTY
CONDOMINIUM SUBDIVISION PLAN NO. 526
EXHIBIT B TO THE MASTER DEED OF
TALL PINES
CITY OF ROSEVILLE, MACOMB COUNTY, MICHIGAN

LEGAL DESCRIPTION

Lots 3, 4 and 5 of "F.B. Wallace Gratiot Farms No. 1" Subdivision of part of the N. 1/2 of the S.W. 1/4 of Sec. 4, T.1N., R.13E., Erin Twp. (now City of Roseville), Macomb County, Michigan, as recorded in Liber 4 of Plats, Page 35, Macomb County Records, being more particularly described as: Beginning at the Northeast corner of said Lot 3; thence S. 02°42'13" W., 523.25 feet; thence N. 88°17'58" W., 237.90 feet; thence N. 02°28'48" E., 520.48 feet; thence S. 89°00'00 E., 240.00 feet to the point of beginning, Containing 124,690 square feet or 2.862 acres and being subject to easements and restrictions of record.

DEVELOPER

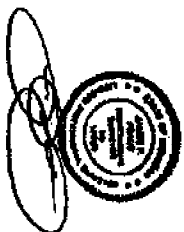
MARLOW DEVELOPMENT
12345 EAST 12 MILE RD.
WARREN, MI, 48093
(810) 573-3900

SURVEYOR

NOWAK AND FRAUS, P.L.L.C.
11 S. PERRY STREET
PONTIAC, MICHIGAN 48341
(810) 332-7931

INDEX

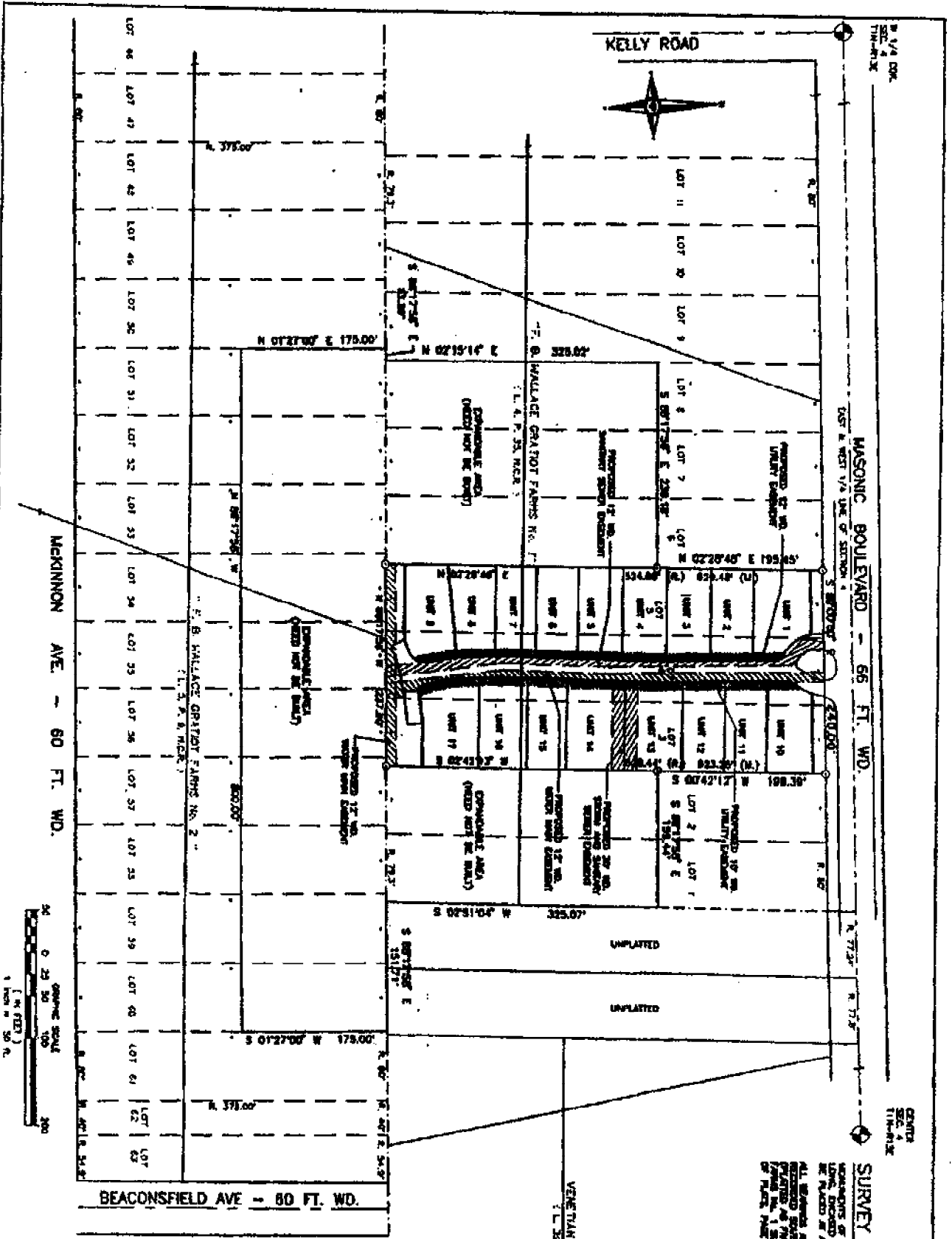
- 1 - TITLE SHEET
- 2 - OVERALL SURVEY PLAN
- 3 - SURVEY PLAN
- 4 - UTILITY PLAN
- 5 - SITE PLAN



PROPOSED 8-1-96

JOB_9497

1



B 1/4 COR.
 SEC. 4
 T14N-R13E

MASONIC BOULEVARD - 66 FT. WD.
 DIST. N WEST 1/4 COR. SECTION 4

MEXKINNON AVE. - 80 FT. WD.

BEACONSFIELD AVE - 80 FT. WD.

SURVEY PLAN NOTES:
 1. ALL DIMENSIONS ARE IN FEET AND DECIMALS THEREOF.
 2. THE DISTANCE BETWEEN THE CENTER LINES OF ADJACENT ALLEYS SHALL BE 12 FEET.
 3. THE DISTANCE BETWEEN THE CENTER LINES OF ADJACENT STREETS SHALL BE 66 FEET.
 4. THE DISTANCE BETWEEN THE CENTER LINES OF ADJACENT ROADS SHALL BE 132 FEET.
 5. THE DISTANCE BETWEEN THE CENTER LINES OF ADJACENT HIGHWAYS SHALL BE 264 FEET.
 6. THE DISTANCE BETWEEN THE CENTER LINES OF ADJACENT RAILROADS SHALL BE 432 FEET.
 7. THE DISTANCE BETWEEN THE CENTER LINES OF ADJACENT AIRWAYS SHALL BE 864 FEET.
 8. THE DISTANCE BETWEEN THE CENTER LINES OF ADJACENT CANALS SHALL BE 1728 FEET.
 9. THE DISTANCE BETWEEN THE CENTER LINES OF ADJACENT RIVERS SHALL BE 3456 FEET.
 10. THE DISTANCE BETWEEN THE CENTER LINES OF ADJACENT OCEANS SHALL BE 6912 FEET.

VENETIAN ESTATES SUBDIVISION
 T. 14 N., R. 13 E., S. 20 TOWN 1

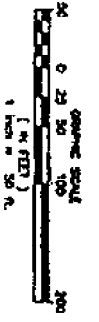


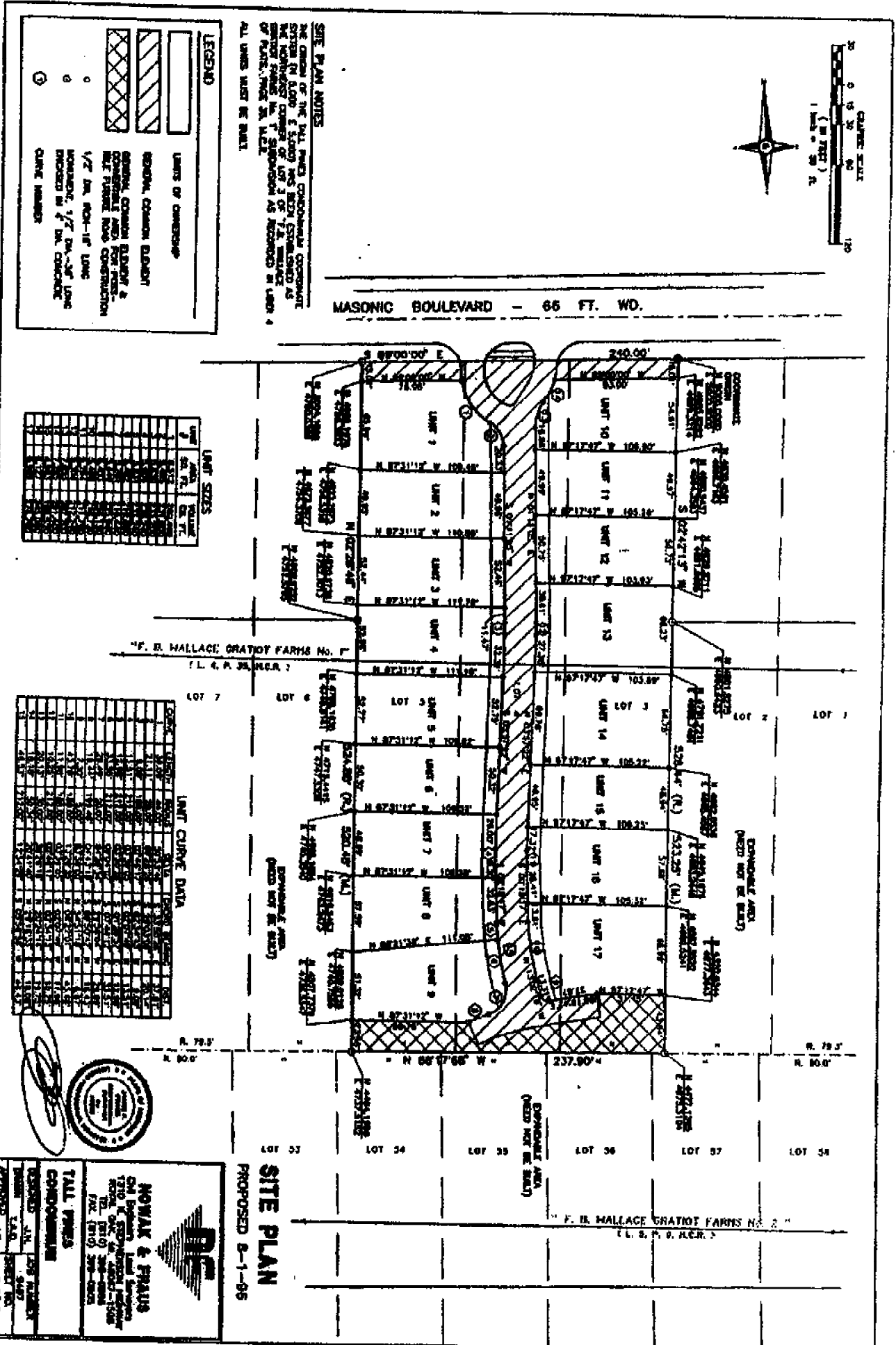
OVERALL SURVEY PLAN
 PROPOSED 8-1-96

HOWAK & FRAUS
 Civil Engineers and Surveyors
 11 S. FORT STREET
 TOLSON, MI 48061
 TEL: (810) 354-3701
 FAX: (810) 354-3537

TITLE SHEETS

DESIGNED	J.L.	JOB NUMBER	
DRAWN	T.L.D.	SHEET NO.	7-487
APPROVED	J.F.		2 OF 5





LEGEND

[Symbol: Diagonal lines]	LIMITS OF COMMONS
[Symbol: Dotted pattern]	GENERAL COMMON ELEMENTS CONCRETE, COMMON BALCONY & RAIL FLOORING AND RAIL CONSTRUCTION
[Symbol: Circle with dot]	1/2 IN. NON-1/2 LINE INDICATED 1/2 IN. COMMON CURVE NUMBER

SITE PLAN NOTES

THE OWNER OF THE FULL RANGE CONDOMINIUM OCCUPANTS
 ORDER TO BE BOUND BY THE TERMS OF THIS PLAN AS
 SET FORTH HEREIN AND TO BE BOUND BY THE TERMS OF
 ANY OTHER INSTRUMENTS WHICH MAY BE FILED AS
 PART OF THIS PLAN, AND TO BE BOUND BY THE TERMS
 OF ANY INSTRUMENTS WHICH MAY BE FILED AS
 PART OF THIS PLAN, AND TO BE BOUND BY THE TERMS
 OF ANY INSTRUMENTS WHICH MAY BE FILED AS
 PART OF THIS PLAN.

ALL UNITS MUST BE BUILT

UNIT SIZES

UNIT	AREA	PERMITS	PERMITS	PERMITS
1	1,100	1,100	1,100	1,100
2	1,100	1,100	1,100	1,100
3	1,100	1,100	1,100	1,100
4	1,100	1,100	1,100	1,100
5	1,100	1,100	1,100	1,100
6	1,100	1,100	1,100	1,100
7	1,100	1,100	1,100	1,100
8	1,100	1,100	1,100	1,100
9	1,100	1,100	1,100	1,100
10	1,100	1,100	1,100	1,100
11	1,100	1,100	1,100	1,100
12	1,100	1,100	1,100	1,100
13	1,100	1,100	1,100	1,100
14	1,100	1,100	1,100	1,100
15	1,100	1,100	1,100	1,100
16	1,100	1,100	1,100	1,100
17	1,100	1,100	1,100	1,100

UNIT CURVE DATA

UNIT	AREA	PERMITS	PERMITS	PERMITS
1	1,100	1,100	1,100	1,100
2	1,100	1,100	1,100	1,100
3	1,100	1,100	1,100	1,100
4	1,100	1,100	1,100	1,100
5	1,100	1,100	1,100	1,100
6	1,100	1,100	1,100	1,100
7	1,100	1,100	1,100	1,100
8	1,100	1,100	1,100	1,100
9	1,100	1,100	1,100	1,100
10	1,100	1,100	1,100	1,100
11	1,100	1,100	1,100	1,100
12	1,100	1,100	1,100	1,100
13	1,100	1,100	1,100	1,100
14	1,100	1,100	1,100	1,100
15	1,100	1,100	1,100	1,100
16	1,100	1,100	1,100	1,100
17	1,100	1,100	1,100	1,100

TALL PINE'S
 CONDOMINIUM

NORMAN & FRAUS
 Civil Engineers & Surveyors
 1710 Oak St., Detroit, MI 48226
 TEL: (313) 224-1100
 FAX: (313) 224-1100

DESIGNED: J.N. 105 9/92
 DRAWN: J.A. 105 9/92
 CHECKED: J.A. 105 9/92
 APPROVED: J.N. 105 9/92

SITE PLAN
 PROPOSED 8-1-96

**MACOMB COUNTY CONDOMINIUM
SUBDIVISION PLAN No 288**

**EXHIBIT B TO THE MASTER DEED OF
KELLY MANOR CONDOMINIUM
CITY OF ROSEVILLE, MACOMB COUNTY,
MICHIGAN.**

DEVELOPER
MASONIC KELLY CORPORATION
A MICHIGAN CORPORATION
31225 JEFFERSON AVE.
ST. CLAIR SHORES, MICHIGAN.
48082

SURVEYOR
ROBERT SHAWAYDA
REGISTERED LAND SURVEYOR
3704 KELLY RD.
MT CLEMENS, MICHIGAN.
48043

ATTENTION: COUNTY REGISTER OF DEEDS
THE CONDOMINIUM SUBDIVISION PLAN NUMBER MUST BE
ASSIGNED IN CONSECUTIVE SEQUENCE. WHEN A CORRECT
HAS BEEN PERFORMED TO THIS PROJECT, IT MUST BE
REPRESENTED IN THE TITLE, SHEET 1, AND THE
SURVEYOR'S CERTIFICATE, SHEET 2.

PROPERTY DESCRIPTION

SOUTH 246.42 FEET OF LOTS 28 AND 29, PLAT OF F.A. WALLACE
GRANTER PLANS NO. 1 SUBDIVISION OF PART OF A. J. & S. W. 1 OF
SECTION 4, T. 46. N., R. 13 E., MACOMB COUNTY, MICHIGAN, RECORDED
IN LIBER 4, PAGE 26, MACOMB COUNTY RECORDS.

INDEX SHEET

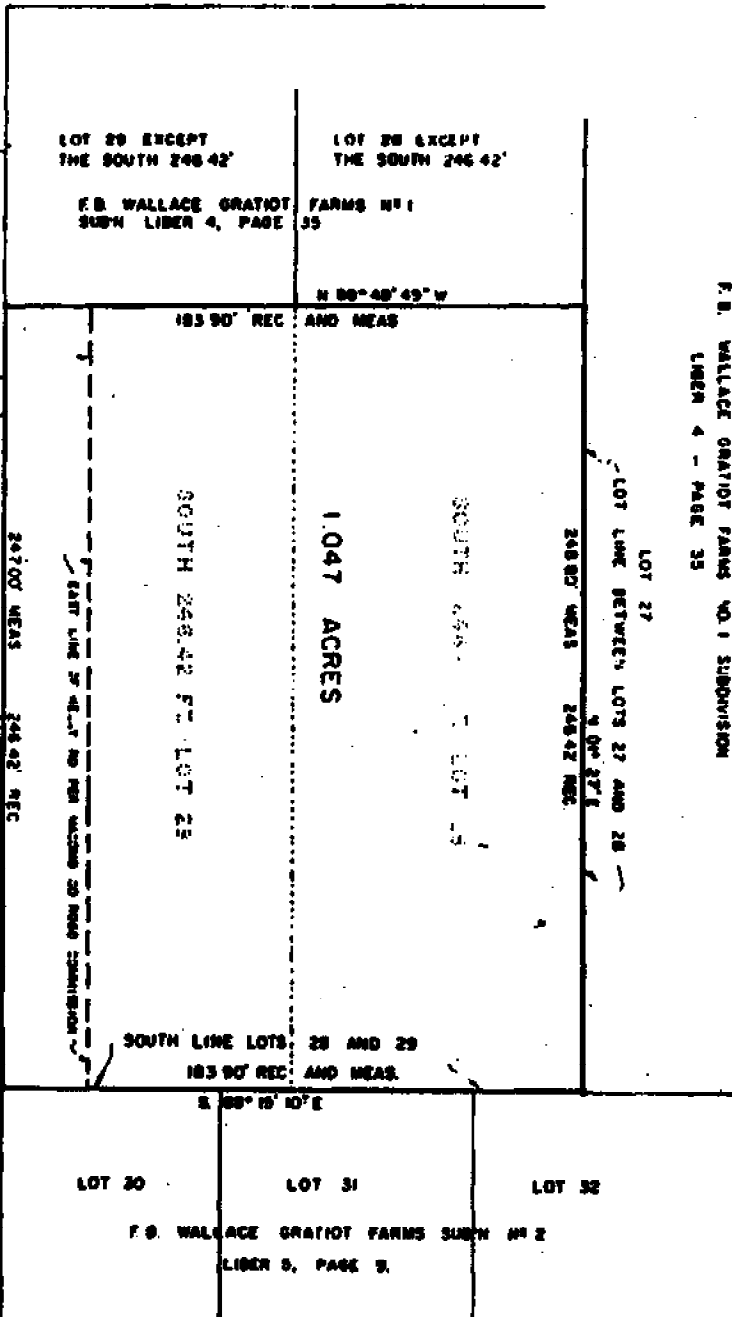
1. TITLE, DESCRIPTION.
2. SURVEY PLAN.
3. SITE PLAN.
4. UTILITY PLAN.
5. FIRST FLOOR AND SECOND FLOOR PLANS,
BUILDING 1, (UNITS 1 THROUGH 80).



PROPOSED
APRIL 4 1968
MUST BE BUILT

MASONIC BLVD.

F. B. WALLACE GRATIOT FARMS NO. 1 SUBDIVISION
LIBER 4 - PAGE 35



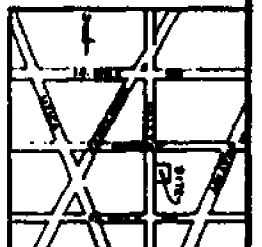
NOTE - THIS PROPERTY DOES NOT LIE IN FLOOD HAZARD AREA AS DETERMINED BY NATIONAL FLOOD INSURANCE PROGRAM.
BEARING 3 01' 37" W IS BEARING RECORD IN F. B. WALLACE GRATIOT FARMS NO. 1 SUB. LIBER 4, PAGE 35, MACOMB COUNTY RECORDS.

KELLY ROAD

KELLY MANOR
CONDOMINIUM
SCALE 1" = 20'

SURVEY PLAN

LOCATION MAP



SURVEYOR'S CERTIFICATE

I, ROBERT SWARTZ, REGISTERED LAND SURVEYOR OF THE STATE OF MICHIGAN, HEREBY CERTIFY:

THAT THE SUBDIVISION PLAN BEING AS HONOR COUNTY CONDOMINIUM SUBDIVISION PLAN NO. 2, 1988, AS SHOWN ON THE ACCOMPANYING DRAWINGS, REPRESENTS A SURVEY ON THE GROUND MADE UNDER MY DIRECTION, AND THAT THERE ARE NO EXISTING ENCUMBRANCES UPON THE LANDS AND PROPERTY HEREIN DESCRIBED.

THAT THE RETURNED NUMBERS AND HORN NUMBERS HAVE BEEN LOCATED IN THE GROUND AS REQUIRED BY RULES PROULGATED UNDER SECTION 142 OF ACT NUMBER 59 OF THE PUBLIC ACTS OF 1978, AS AMENDED.

THAT THE ACCURACY OF THIS SURVEY IS WITHIN THE LIMITS REQUIRED BY THE RULES PROULGATED UNDER SECTION 142 OF ACT NUMBER 59 OF THE PUBLIC ACTS OF 1978, AS AMENDED.

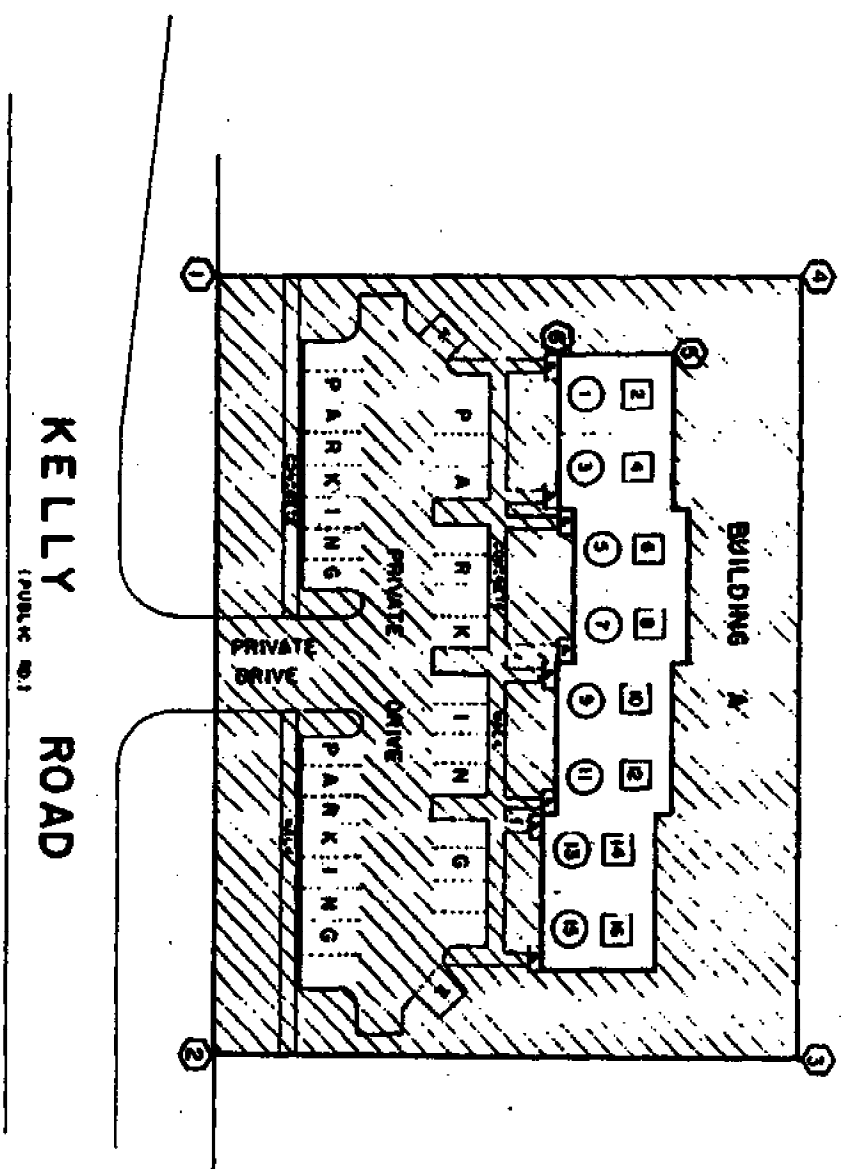
THAT THE BEARINGS AS SHOWN, ARE ENTERED ON SURVEY PLAN AS RETURNED BY THE RULES PROULGATED UNDER SECTION 142 OF ACT NUMBER 59 OF THE PUBLIC ACTS OF 1978, AS AMENDED.

APPROVED AND FORWARDED:
DATE: 4-15-88

ROBERT SWARTZ, R.L.S.
REGISTERED LAND SURVEYOR
MICHIGAN REG. NO. 13595



ROBERT SWARTZ
REGISTERED LAND SURVEYOR
27015 KELLY ROAD
48164 ELEMERS, MICHIGAN
PHONE: (482) 3113



SCHEDULE OF COORDINATE POINTS

COORD. POINT	NORTH	EAST
1	1000.00	1000.00
2	753.08	593.75
3	747.47	1177.56
4	596.19	1183.86
5	973.76	1108.03
6	972.95	1144.02



GENERAL COMMON ELEMENT

○ - COORDINATE POINT

① - FIRST FLOOR UNIT NUMBER

② - SECOND FLOOR UNIT NUMBER

T - TRASH RECEPTACLE, GENERAL COMMON ELEMENT

P - PORCH, LIMITED COMMON ELEMENT

NOTE - PARKING SPACES AS SHOWN ARE GENERAL COMMON ELEMENT AND ARE CONVERTIBLE AREA. THIS AREA MAY BE CONVERTED TO CAR PORTS.

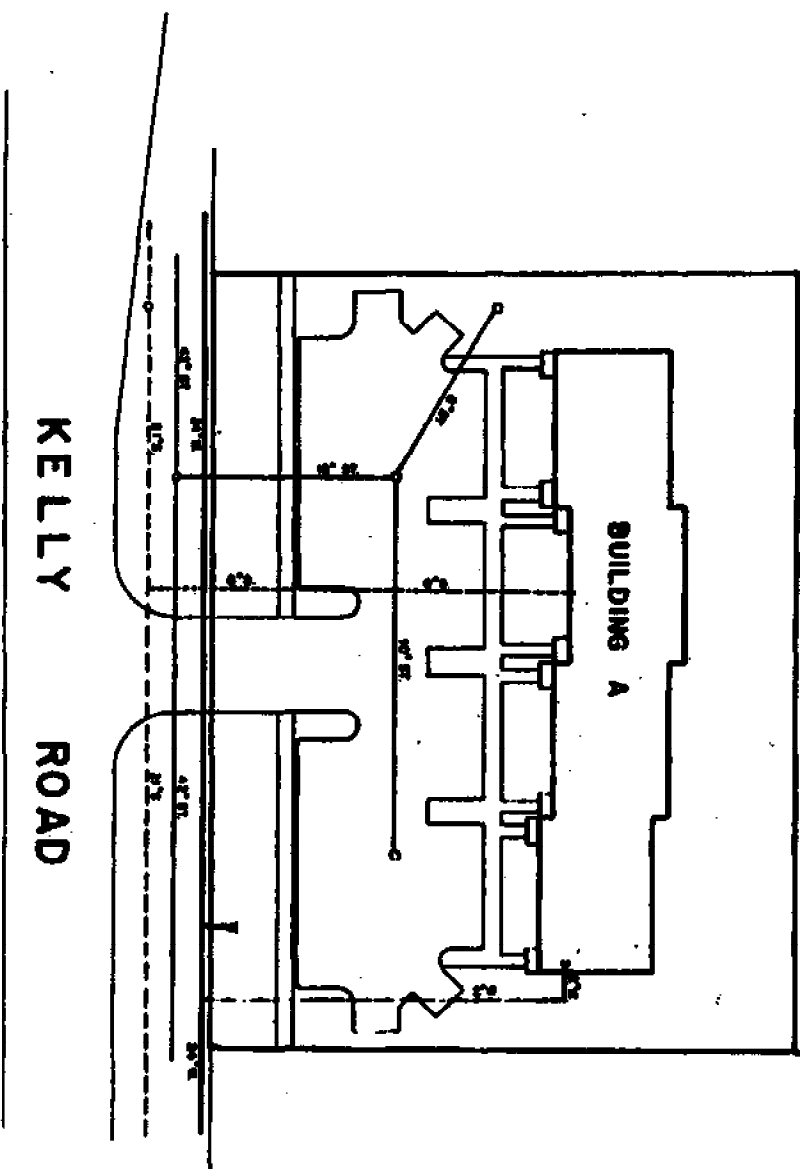
SITE PLAN

KELLY MANOR
CONDOMINIUM



REGISTERED APRIL 4, 1988
MICHIGAN SURVEYOR

CONVERT SURVEYOR
REGISTERED LAND SURVEYOR
FROM KELLY NO.
OF ELEMENT, MICHIGAN
40093
ON 4/26/87



UTILITY LEGEND:

- WATER MAIN
- WATER METER
- FIRE HYDRANT
- SANITARY SEWER
- MAN HOLE SANITARY
- STORM SEWER
- MAN HOLE STORM
- CATCH BASIN

GENERAL NOTES:

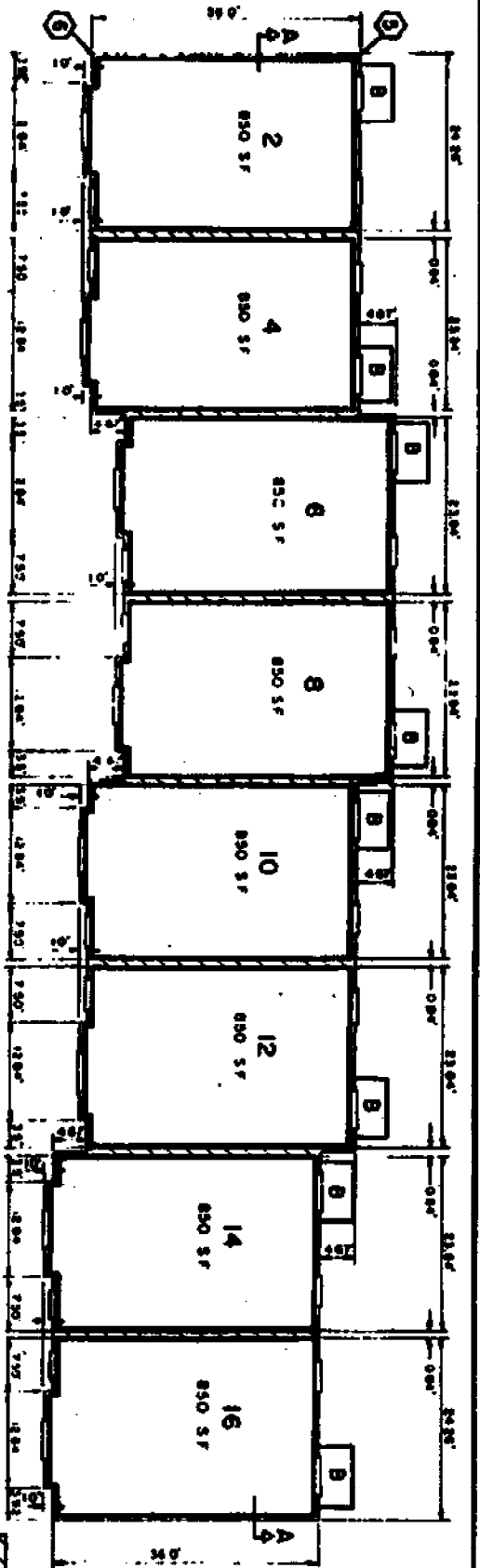
- ALL UNITS TO BE SERVICED WITH SANITARY SEWER AND WATER BY CITY OF HOUSTON. SANITARY SEWER AND WATER INFORMATION AS SHOWN, OBTAINED FROM CITY OF HOUSTON RECORDS.
- STORM SEWER, AS SHOWN, OBTAINED FROM CITY OF HOUSTON RECORDS.
- ALL UNITS TO BE SERVICED WITH GAS BY CONSUMER POWER COMPANY.
- ALL UNITS TO BE SERVICED WITH ELECTRIC BY DETROIT EDISON COMPANY.
- ALL UNITS TO BE SERVICED WITH TELEPHONE BY MICHIGAN CELL TELEPHONE COMPANY.
- GAS, ELECTRIC AND TELEPHONE LINES ARE NOT SHOWN ON EXISTING PLANS AND HAVE NOT BEEN COMPLETED AT THIS DATE. GAS TELEPHONE AND ELECTRIC LINES WILL BE SHOWN ON AS-BUILT PLANS.
- UTILITIES, AS SHOWN, INDICATE APPROXIMATE LOCATIONS OF FACILITIES ONLY, AS DISCLOSED BY THE RECORDS OF THE VARIOUS COMPANIES AND TO BE SUBJECT TO CHANGE AS TO COMPLETION OR CORRECTIVE MEASURES.

UTILITY PLAN

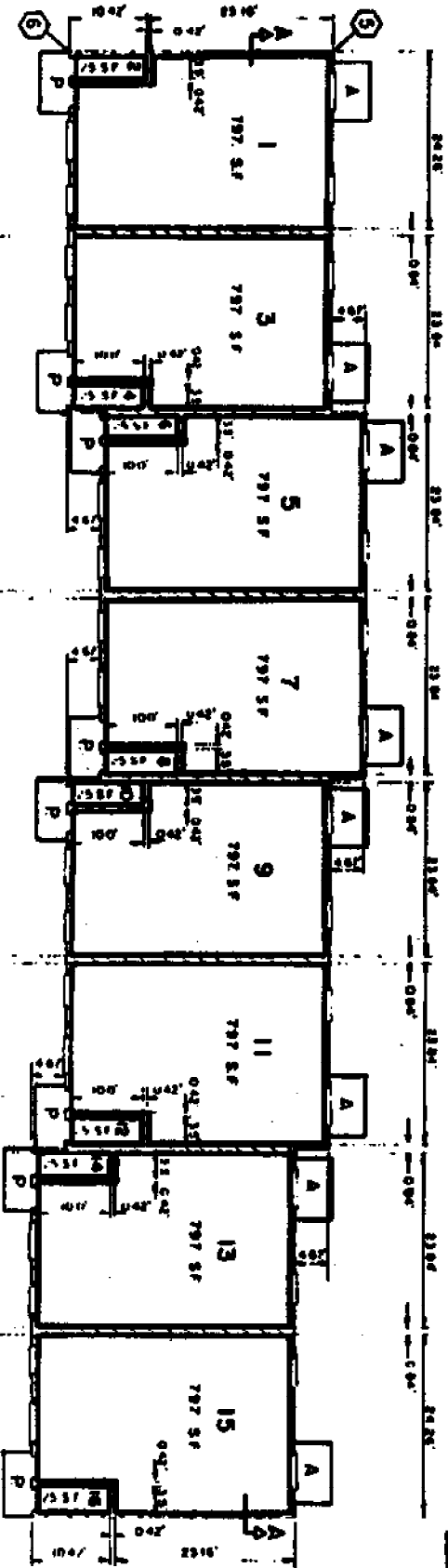
**KELLY MANOR
CONDOMINIUM**



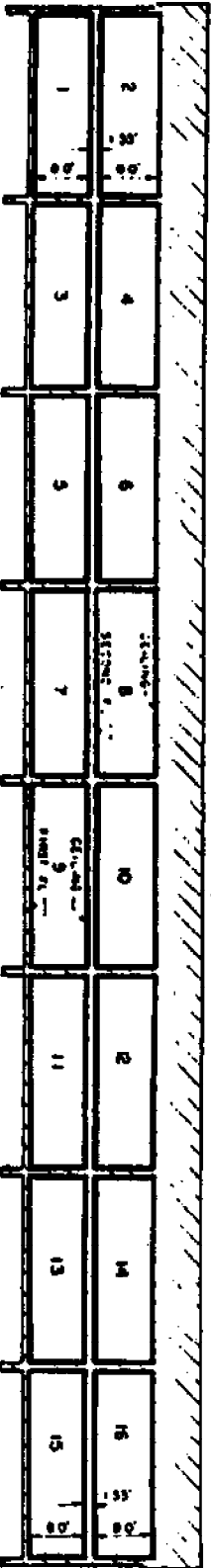
Proposed April 4, 1988
SHEET 22 OF 24
Robert Swanson
REGISTERED LAND SURVEYOR
1204 ELLIOTT
AT DALLAS, TEXAS
408-11
PH 408-610



SECOND FLOOR PLAN BUILDING A



FIRST FLOOR PLAN BUILDING A



SECTION A-A BUILDING A



GENERAL COMMON ELEMENT

○ LIMITS OF OWNERSHIP

○ COORDINATE POINT

NOTE - ALL WALLS, FLOORS AND CEILING ARE AT RIGHT ANGLES TO EACH OTHER

*ALL EXTERIOR FIRST AND SECOND FLOOR WALLS ARE 0-42"

- P-PORCH, LIMITED COMMON ELEMENT 4 FT BY 8 FT.
- A-PATIO, LIMITED COMMON ELEMENT 5 FT BY 8 FT.
- B-BALCONY, LIMITED COMMON ELEMENT 4 FT BY 8 FT.

KELLY MANOR CONDOMINIUM

PROPOSED APRIL 6, 1988
MAY 19, 1988



ROBERT SWARTZ
REGISTERED PROFESSIONAL ENGINEER
NO. 10000 STATE OF MICHIGAN
10000 STATE STREET
ANN ARBOR, MICHIGAN 48106-1501

MACOMB COUNTY CONDOMINIUM SUBDIVISION PLAN NO. 669
 EXHIBIT "B" TO THE MASTER DEED OF
 SPAGNUOLO VILLA CONDOMINIUMS
 CITY OF ROSEVILLE, MACOMB COUNTY, MICHIGAN

DEVELOPER:
 SPAGNUOLO VILLA CORP.
 27729 RUEHLE
 ST. CLAIR SHORES, MI 48081

SURVEYOR:
 GEORGE F. DELY
 37014 KELLY RD.
 CLINTON TOWNSHIP, MI 48035

ENGINEER AND SURVEYOR:
 LANDMARK ENGINEERING CO.
 CIVIL ENGINEERING, SURVEYING, PLANNING
 24001 SOUTHFIELD ROAD
 SOUTHFIELD, MI 48075

DESCRIPTION OF CONDOMINIUM BOUNDARY:

LOT 2 OF "HANNON FARMS" A SUBDIVISION OF THE N 1/2 OF NW 1/4 OF SECTION 4, TOWN 1 NORTH, RANGE 15 EAST, ERIN TOWNSHIP NOW CITY OF ROSEVILLE, AS RECORDED IN LIBER 3 OF PLATS, PAGE 161, MACOMB COUNTY RECORDS, MACOMB COUNTY, MICHIGAN, MORE PARTICULARLY DESCRIBED AS: COMMENCING AT THE NORTH 1/4 POST OF SAID SECTION 4, THENCE N89°10'00"W 48.51 FEET ALONG THE NORTH LINE OF SAID SECTION 4, THENCE S00°18'00"E 238.01 FEET ALONG THE WEST FRONT-OF-WAY LINE OF BEAUMONT ROAD (48.50 FEET WIDE) TO THE POINT OF BEGINNING BEING ALSO THE NORTHEAST CORNER OF SAID LOT NO. 2; THENCE S00°18'00"E 205.00 FEET TO THE SOUTHWEST CORNER OF SAID LOT NO. 2; THENCE S00°18'00"E 205.00 FEET TO THE SOUTHWEST CORNER OF SAID LOT NO. 2; THENCE N89°10'38"W 373.70 FEET ALONG THE SOUTH LINE OF SAID LOT NO. 2 TO THE SOUTHWEST CORNER OF SAID LOT NO. 2; THENCE N00°28'38"E 205.00 FEET ALONG WEST LINE OF SAID LOT NO. 2 TO THE NORTHWEST CORNER OF SAID LOT NO. 2; THENCE S80°10'20"E 371.10 FEET ALONG THE NORTH LINE OF SAID LOT NO. 2 TO THE POINT OF BEGINNING, CONTAINING 1.78 ACRES OF LAND MORE OR LESS, AND BEING SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD, IF ANY.

AS BUILT DATE: FEBRUARY 17, 2000

HASSAN M. ODEH
 PROFESSIONAL ENGINEER NO. 37763
 LANDMARK ENGINEERING CO.
 24001 SOUTHFIELD ROAD, SUITE 210
 SOUTHFIELD, MICHIGAN 48075
 TELEPHONE - (248) 557-5000



ATTENTION: COUNTY REGISTER OF DEEDS
 THE CONDOMINIUM SUBDIVISION PLAN NUMBER MUST BE
 ASSIGNED IN CONSECUTIVE SEQUENCE. WHEN A NUMBER
 HAS BEEN ASSIGNED TO THIS PROJECT, IT MUST BE
 PROPERLY SHOWN IN THE TITLE ON THIS SHEET AND
 THE SURVEYOR'S CERTIFICATE ON SHEET 2

INDEX OF DRAWINGS

- 1 COVER SHEET
- 2 SURVEY PLAN
- 3 SITE PLAN
- 4 UTILITY PLAN
- 5 FIRST FLOOR PLAN & ELEVATION OF BUILDINGS #1 & #3
- 6 SECOND FLOOR PLAN OF BUILDINGS #1 & #3
- 7 FIRST FLOOR PLAN & ELEVATION OF BUILDINGS #2 & #4
- 8 SECOND FLOOR PLAN OF BUILDINGS #2 & #4

LANDMARK ENGINEERING CO.
 Civil Engineering - Surveying - Planning
 24001 Southfield Road, Suite 210
 Southfield, Michigan 48075
 TEL # (248) 557-5000 FAX # (248) 557-5058

CITY OF ROSEVILLE
 MACOMB COUNTY, MICHIGAN

NO SCALE

DATE:	02/17/2000
DR. BY:	
CH. BY:	
INCH. NO.:	1/8"
DATE:	
FILE NO.:	738CD001
1	738CD001

SPAGNUOLO VILLA
 CONDOMINIUMS
 COVER SHEET

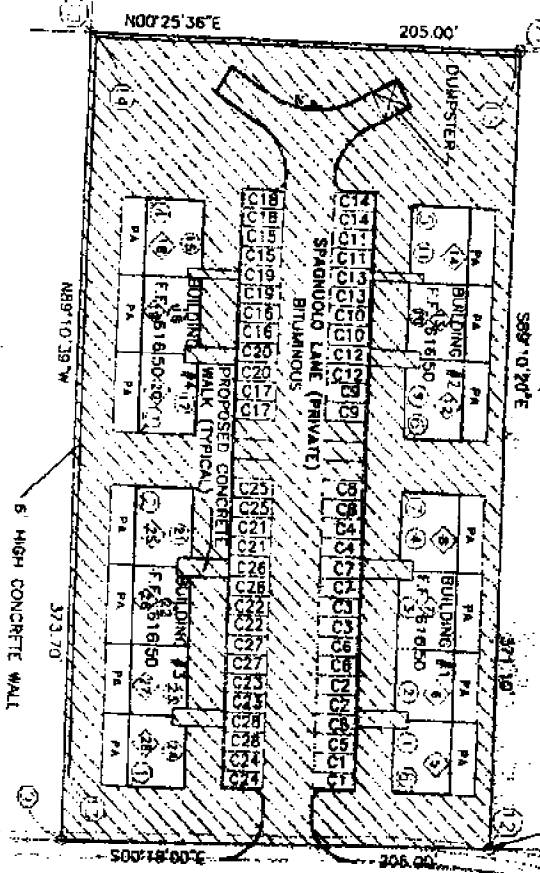
NE CORNER SEC. 4 T1N. R13E. N89°10'20"W (P&M)
 FOUND MON. N 1/4 POST SEC. 4 T1N. R13E.

1.4 MILE RD. (PUBLIC)
 BITUMINOUS SURFACE

2689.16 R
 2699.16 N
 COMMON LINE TO SEC. 23, T1N, R13E
 AND SEC. 4 T1N, R13E

N89°10'20"W
 49.51'
 FOUND MON. N 1/4 POST SEC. 4 T1N, R13E.

FOUNDATION PLAN NO.	NORTH COORDINATE	EAST COORDINATE
1	4626.8418	4876.6441
2	4626.8418	4877.1100
3	4629.0247	4872.9158
4	4629.0247	4873.3598
5	4631.2076	4873.3598
6	4631.2076	4873.8257
7	4633.3905	4873.8257
8	4633.3905	4874.2916
9	4635.5734	4874.2916
10	4635.5734	4874.7575
11	4637.7563	4874.7575
12	4637.7563	4875.2234
13	4639.9392	4875.2234
14	4639.9392	4875.6893
15	4642.1221	4875.6893
16	4642.1221	4876.1552



- NOTES
1. THE FOUNDATIONS OF THE TWO SOUTH BUILDINGS #3 & 4 ARE IN AT THE TIME OF AS-BUILT.
 2. THE PARKING LOT S.W. FINAL LEVELING COURSE METECS TO BE ADDED.

REAGONSFIELD RD. 49.50' WD.
 CONC. SURFACE (PUBLIC)

RIGHT OF WAY LINE



AS BUILT DATE: FEBRUARY 17, 2009

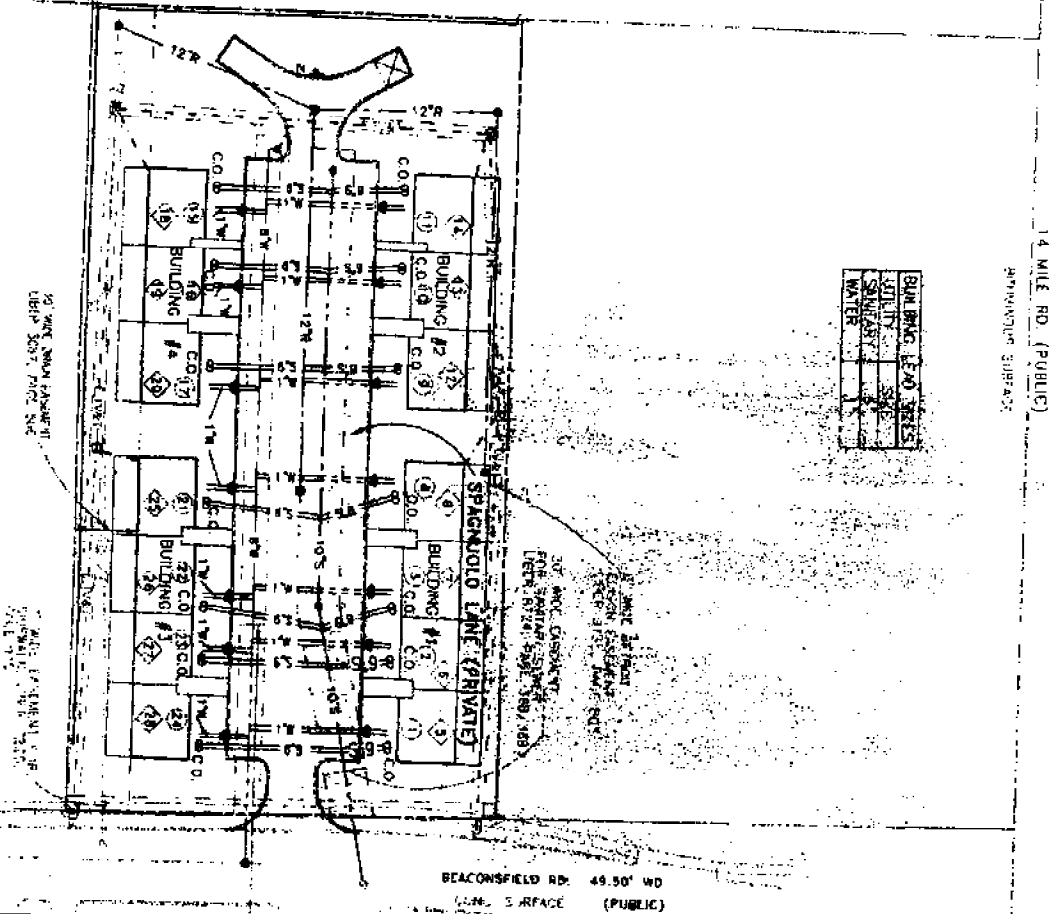
NASSIM K. ODEH
 PROFESSIONAL ENGINEER NO. 37763
 LANDMARK ENGINEERING CO.
 24001 SOUTHWILD ROAD, SUITE 210
 SOUTHWILD, MICHIGAN 48075
 TELEPHONE - (248) 557-3000

- NOTES
1. ALL UNITS ARE SUBJECT TO CITY OF ROSHARON SET BACK REQUIREMENTS.
 2. BUILDINGS 1 AND 2 UNITS 1 THROUGH 14 MUST BE BUILT.
 3. BUILDINGS 3 AND 4 UNITS 15 THROUGH 28 NEED NOT BE BUILT.
 4. ALL BUILDINGS AND STRUCTURES MUST BE BUILT.

- LEGEND:
- NO PARKING SIGN
 - GENERAL COMMON ELEMENT
 - LIMITS OF OWNERSHIP
 - COORDINATE POINT
 - FINISHED FLOOR
 - CONCRETE MOMENT
 - (1) DENOTES FIRST FLOOR UNIT
 - (2) DENOTES SECOND FLOOR UNIT
 - PATIO AREA - LIMITED COMMON ELEMENT TO FIRST FLOOR UNITS ONLY 12 FOOT BY WIDTH OF THE UNIT
 - CARPET - LIMITED COMMON ELEMENT

SPASNUOLO VILLA
 CONDOMINIUMS
 SITE PLAN

<p>DATE: 02/17/2009</p> <p>BY: N.K.O.</p> <p>CHECKED: N.K.O.</p> <p>SCALE: 1" = 50 FEET</p>	<p>REVISIONS</p> <p>NO. DATE DESCRIPTION</p>	<p>OWNER: SPASNUOLO VILLA CONDOMINIUMS</p>	<p>CITY OF ROSHARON MACOMB COUNTY, MICHIGAN</p>	<p>SCALE: 1" = 50 FEET</p>	<p>LANDMARK ENGINEERING CO. Civil Engineering - Surveying - Planning</p> <p>24001 Southwild Road, Suite 210 Southfield, Michigan 48075 TEL: (248) 557-3000 FAX: (248) 557-3020</p>



EXISTING



LEGEND:

AS BUILT



- GENERAL NOTES**
1. ALL UNITS ARE SEPARATE WITH SANITARY SEWER AND WATER BY THE CITY OF ROSELLE.
 2. ALL UNITS ARE SERVICED WITH GAS BY CONSUMER'S ENERGY.
 3. ALL UNITS ARE SERVICED WITH ELECTRIC POWER BY DETROIT EDISON CO WITH TELEPHONE BY AMTRITECH.
 4. ALL SITE IMPROVEMENTS SHOWN AND UNDERGROUND UTILITIES MUST BE BUILT.
 5. UTILITIES WERE LOCATED FROM FIELD OBSERVATION.
 6. LOCATION OF UTILITIES ARE APPROXIMATE ONLY. FINAL LOCATIONS WILL BE SHOWN ON 'AS BUILT' PLANS.



AS BUILT DATE: FEBRUARY 17, 2000

HASSAN M. DOLEH
 PROFESSIONAL ENGINEER NO. 37763
 LANDMARK ENGINEERING CO.
 24061 Southfield Road
 Southfield, Michigan 48075
 TELEPHONE - (248) 557-3000

SPANGOLD VILLA
 CONDOMINIUMS
 UTILITY PLAN

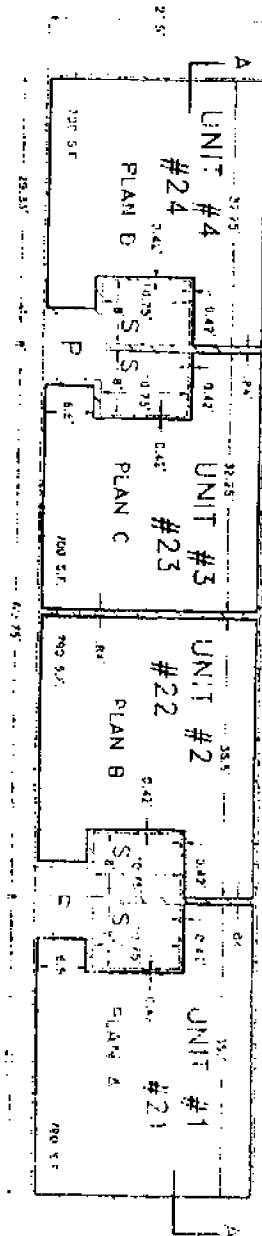
LANDMARK ENGINEERING CO.
 The Engineering • Surveying • Planning

24061 Southfield Road, Suite 210
 Southfield, Michigan 48075
 TEL: (248) 557-3002 FAX: (248) 557-3003

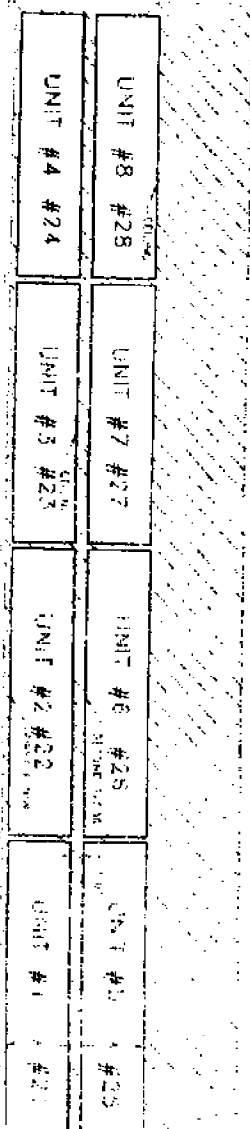
CITY OF ROSELLE
 MACOMB COUNTY, MICHIGAN

SCALE: 1" = 30' FEET

4 738CDD04



FIRST FLOOR PLAN OF BUILDING #1 & #3

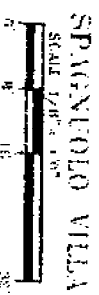


SECTION A-A

GENERAL COMMON ELEMENTS
 = LIMITS OF OWNERSHIP

POWER - LIMITED COMMON TENANT
 UNIT AS SHOWN, ROADS, AND SERVICES
 ARE TO BE PROVIDED TO EACH UNIT AND
 EXTERIOR WALLS SEE PLAN

TO BE CHANGED TO SECOND FLOOR UNIT
 LIMITED COMMON ELEMENT



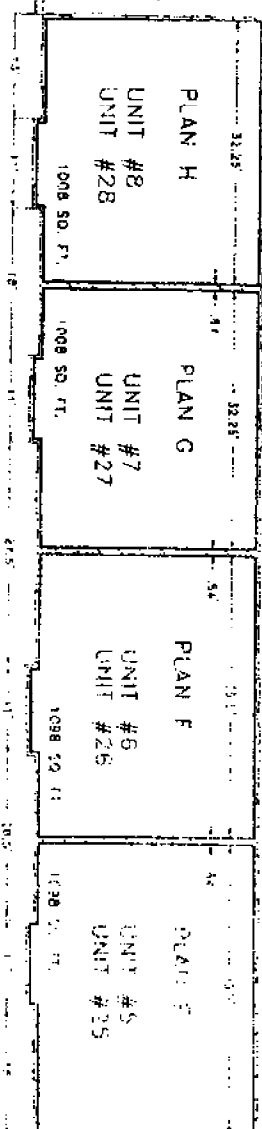
SPAGNEOLO VILLA

Handwritten signature and initials



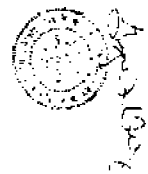
DESIGNED BY
 B. J. JENNINGS, F. AND S.

REGISTERED LAND SURVEYOR
 3701 SULLY ROAD
 LANSING, MICHIGAN
 48206
 PHONE: 466-6113



SECOND FLOOR PLAN OF BUILDINGS #1 R #3

GENERAL COMMON ELEMENT
 UNITS OR MEMBERSHIP
 UNIT = UNIT - LIMITED COMMON ELEMENT
 NOTE: ALL WALLS, FLOORS, AND CEILINGS
 ARE AT POINT ANGLES TO EACH OTHER, ALL
 DIMENSIONS ARE IN FEET

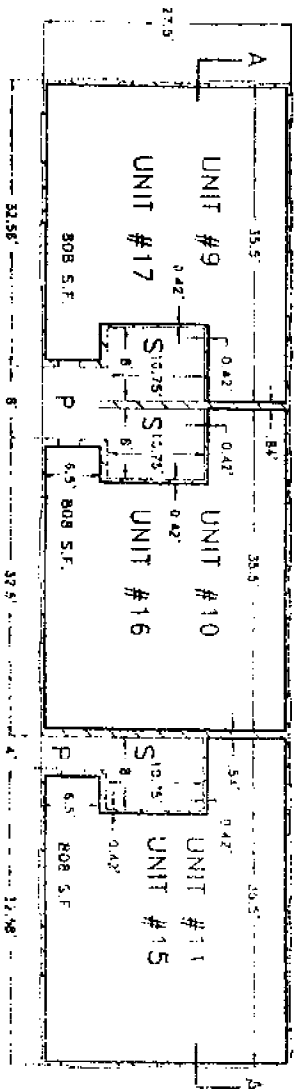


PROPOSED UNIT NO. UNIT
 REGISTRATION AND
 5/20/50

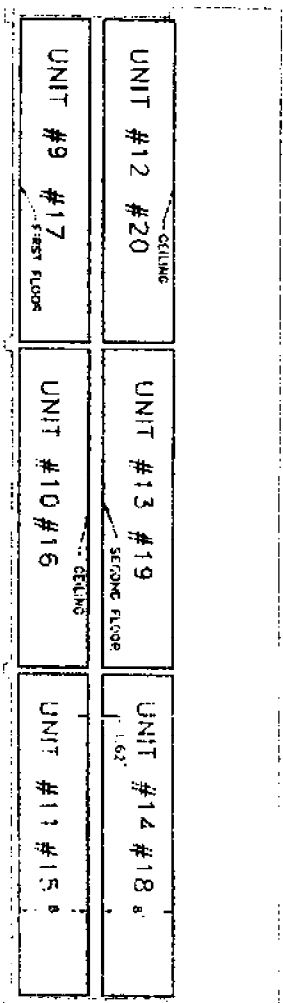
SPAGNUOLO VILLA
 SCALE 1/8" = 1'-0"

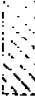

GEORGE S. DELEY
 REGISTERED LAND SURVEYOR
 3011 KELLY ROAD
 CLINTON TWP., MICHIGAN
 48064
 PHONE - (688-6113)

SHEET 3




FIRST FLOOR PLAN OF BUILDING #2 & #1



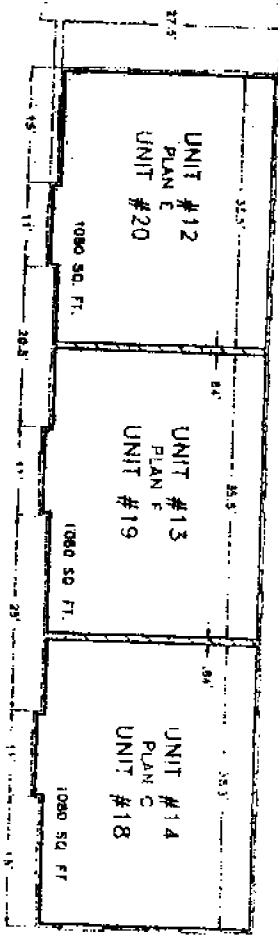
 = GENERAL COMMON ELEMENT
 = LIMITS OF OWNERSHIP
 P = PORCH -- LIMITED COMMON ELEMENT
 NOTE: ALL WALLS, FLOORS, AND CEILINGS ARE 4" RIGID ANGLES TO EACH OTHER, ALL EXTERIOR WALLS ARE 1.08"
 S = STAIRWELL TO SECOND FLOOR UNIT LIMITED COMMON ELEMENT

SPAGNUOLO VILLA
 1/8" = 10'
 0 4 8 16 32
 SURFT 3


George F. Delly

PROPOSED MUST BE BUILT
 BUILDINGS 1 AND 2
 5/20/00

GEORGE F. DELLY
 REGISTERED LAND SURVEYOR
 37011 KELLY ROAD
 ELINGTON TWP., MICHIGAN
 49030
 PHONE-468-8113



SECOND FLOOR PLAN OF BUILDINGS #2 & #1



GENERAL COMMON ELEMENT

LIMITS OF OWNERSHIP

P. = PORCH - LIMITED COMMON ELEMENT

NOTE: ALL WALLS, FLOORS, AND CEILINGS ARE AT RIGHT ANGLES TO EACH OTHER. ALL EXTERIOR WALLS ARE 8.00"

SPAGNUOLO VILLA
 SCALE 1/8" = 1'-0"
 0 6 12 30'

PROPOSED MUST BE BUILT
 BUILDINGS 1 AND 2
 6/7/90/99

GEORGE F. DEJIS
 REGISTERED LAND SURVEYOR
 37014 KELLY ROAD
 CLEMONT TWP., MICHIGAN
 48036
 3130P8-488-6117

SHEET 8

**"MACOMB COUNTY CONDOMINIUM PLAN No. 844
EXHIBIT "B" TO THE MASTER DEED OF
STANFORD COURT CONDOMINIUM-ROSEVILLE
CITY OF ROSEVILLE, MACOMB COUNTY, MICHIGAN"**

ATTENTION: MACOMB COUNTY REGISTER OF DEEDS
THE CONDOMINIUM SUBDIVISION PLAN NUMBER
MUST BE ASSIGNED IN CONSECUTIVE SEQUENCE
WHEN A NUMBER HAS BEEN ASSIGNED TO THIS
PROJECT, IT MUST BE PROPERLY SHOWN IN THE
TITLE ON THIS SHEET AND THE SURVEYORS
CERTIFICATE ON SHEET 2.

DEVELOPER

TENOR INVESTMENTS, LLC
1021 STRATFORD LANE
BLOOMFIELD HILLS, MICHIGAN 48304

SURVEYORS & ENGINEERS

LEHNER ASSOCIATES, INC.
17001 NINETEEN MILE ROAD, SUITE 3
CLINTON TOWNSHIP, MICHIGAN 48038

PROPERTY DESCRIPTION

LOT 1 EXCEPT THE NORTH 27 FEET OF
"HARMON FARMS" A SUBDIVISION OF THE
NORTH 1/2 OF THE NORTHWEST 1/4 OF
SECTION 4, T.1N., R.13E., CITY OF
ROSEVILLE, MACOMB COUNTY, MICHIGAN

SHEET INDEX

1. TITLE SHEET
2. SURVEY PLAN
3. SITE PLAN
4. UTILITY PLAN
5. BASEMENT PLAN
6. FIRST & SECOND FLOOR PLAN

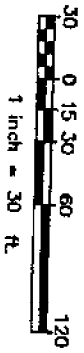
NOTE: ALL BUILDINGS MUST BE BUILT
UNLESS OTHERWISE NOTED AS
"NEED NOT BE BUILT"



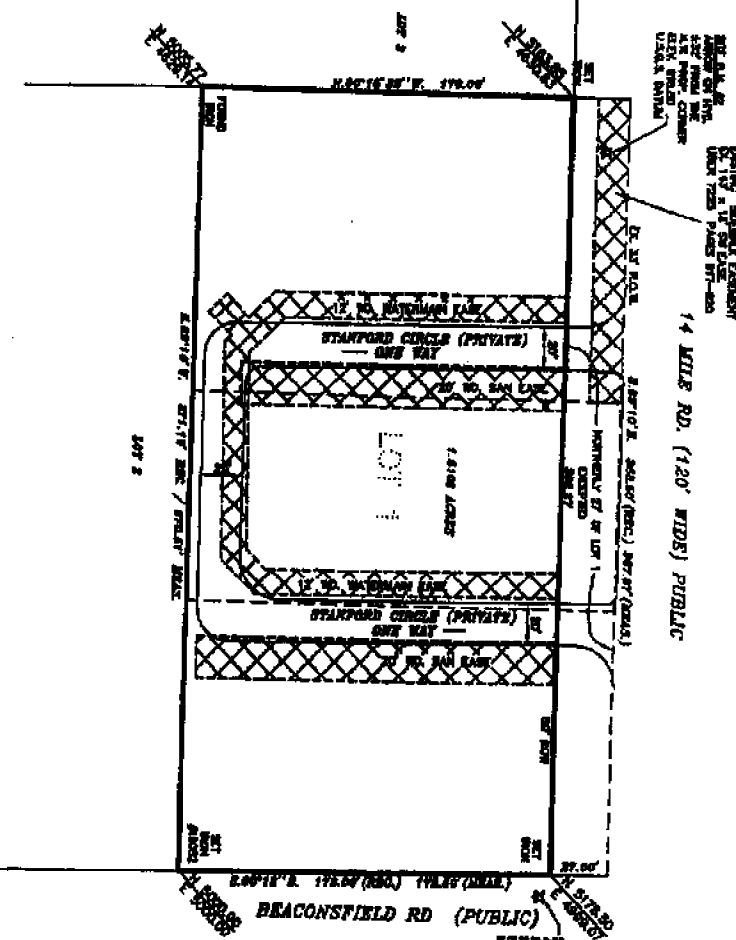
Robert L. Smith

ROBERT L. SMITH #18052
PROPOSED DATE 11-20-03

TITLE SHEET
SHEET 1 of 6

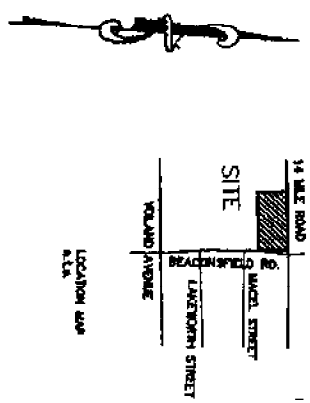
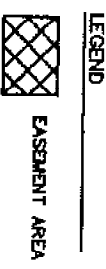


BENCHMARKS:
 SITE BM 1 ARROW ON HYD. S.W. CORNER OF 14 MILE RD. & BEACONSFIELD ELEV. 818.60
 SITE BM 2 ARROW ON HYD. EAST FROM THE N.W. PROP. CORNER ELEV. 818.00



NOTE:
 THERE IS NO APPARENT EASEMENT RECORDED FOR THE SANITARY AND WATERMAIN ALONG 14 MILE ROAD.

NOTE:
 CITY OF ROSEVILLE IS NOT A PARTICIPANT IN THE FLOOD HAZARD PROGRAM (NOT MAPPED)



SURVEYOR'S CERTIFICATE

I, ROBERT L. SMITH, REGISTERED LAND SURVEYOR OF THE STATE OF MICHIGAN, HEREBY CERTIFY THAT THE SUBDIVISION PLAN NO. 8744 AS SHOWN ON THE ACCOMPANYING DRAWINGS REPRESENTS A SURVEY ON THE GROUND MADE UNDER MY DIRECTION, THAT THERE ARE NO EXISTING ENCROACHMENTS UPON THE LANDS AND PROPERTY HEREIN DESCRIBED, THAT THE REQUIRED MONUMENTS AND MARKERS HAVE BEEN LOCATED ON THE GROUND AS REQUIRED BY RULES PROMULGATED UNDER SECTION 142 OF ACT NUMBER 59 OF THE PUBLIC ACTS OF 1978, AS AMENDED, THAT THE BEARINGS AS SHOWN ON SURVEY PLAN 142 OF ACT NUMBER 59 OF THE PUBLIC ACTS OF 1978, AS AMENDED.

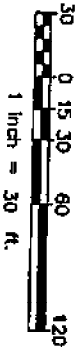
THE BASIS OF BEARINGS ARE RELATED TO NORTH LINE OF "LAWSON FARMS SUBDIVISION" AS RECORDED IN LIBER 3, PAGE 181 OF PLATS WACOMB COUNTY RECORDS



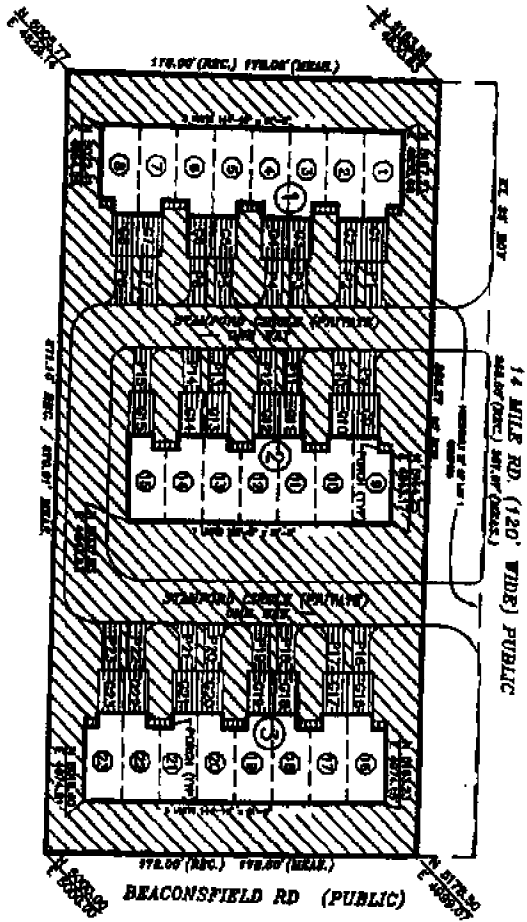
Robert L. Smith
 ROBERT L. SMITH #14182
 PROPOSED DATE 11-20-03

SURVEY PLAN

<p>LEWIS ASSOCIATES, INC. PROFESSIONAL ENGINEER & SURVEYOR 10000 UNIVERSITY AVENUE, SUITE 1 TROY, MICHIGAN 48063-1000 TEL: (313) 485-2170</p>	<p>DATE: 11-20-03 SHEET NO.: 2 TOTAL SHEETS: 2</p>
---	--



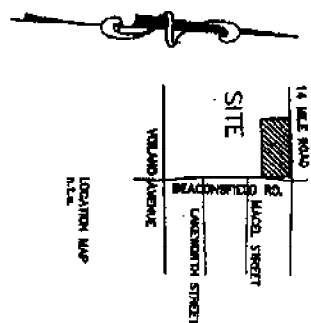
NOTE:
BUILDINGS SHOWN HEREON DENOTE UNIT LOCATIONS ONLY.
COMPLETE DESCRIPTION OF UNITS ARE SHOWN ON
FLOOR PLANS.



NOTE:
UNITS 1-8 MUST BE BLVD
UNITS 9-23 NEED NOT BE BLVD

LEGEND

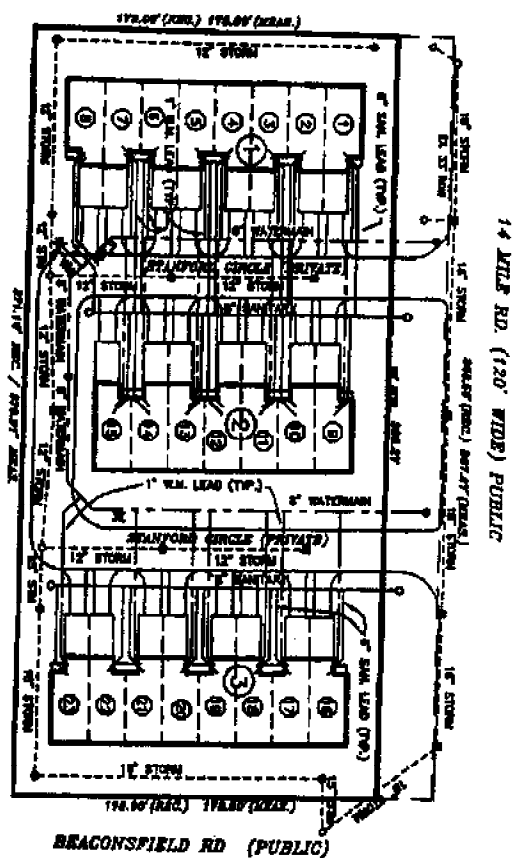
- P3 - PARKING SPACE - LIMITED COMMON ELEMENT
- ① - UNIT #
- ② - BUILDING NUMBER
- ③ - UNIT #
- ▨ - LIMITED COMMON ELEMENT
- ▩ - GENERAL COMMON ELEMENT



ROBERT L. SMITH #16052
PROPOSED DATE 11-20-03

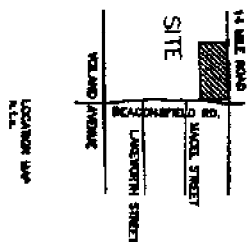
SITE PLAN

<p>LEHMAN ASSOCIATES, INC. PROFESSIONAL ENGINEERS & SURVEYORS 1000 WESTLAND AVENUE, SUITE 200 WESTLAND, MICHIGAN 48186-1500 TEL: (313) 487-7710 FAX: (313) 487-7710</p>	<p>DATE: 11-20-03 SCALE: AS SHOWN SHEET NO. 3 OF 3</p>
<p>STANFORD COUNT CORPORATION ROSENBLIE</p>	<p>3</p>



14 MILE RD (120' WIDE) PUBLIC

BEACONSFIELD RD (PUBLIC)



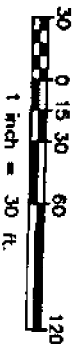
LEGEND

- ① - UNIT #
- SANITARY SEWER
- WATER MAIN
- STORM SEWER
- STORM CATCH BASIN
- STORM MANHOLE
- ✕ FIRE HYDRANT
- VALVE & WELL
- SANITARY MANHOLE

NOTE:
LOCATION OF TELEPHONE, NATURAL GAS, ELECTRICITY AND CABLE TELEVISION WILL BE SHOWN ON AS-BUILT PLANS

NOTE:
LOCATION OF UTILITIES ARE APPROXIMATE ONLY.

NOTE:
DIMENSIONS SHOWN HEREON INDICATE UNIT LOCATIONS ONLY. COMPLETE DESCRIPTION OF UNITS ARE SHOWN ON FLOOR PLANS.




UTILITY PLAN

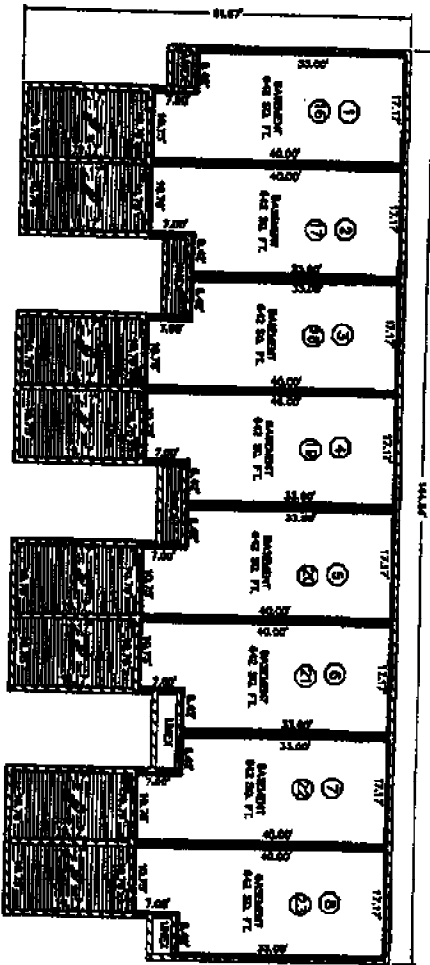
PROPOSED BY: [Signature]

LENNER ASSOCIATES, INC.
PROFESSIONAL ENGINEERS & SURVEYORS
2700 W. BENTLEY AVE. SUITE 2
ANN ARBOR, MICHIGAN 48106
TEL: 734-769-2200
FAX: 734-769-2201

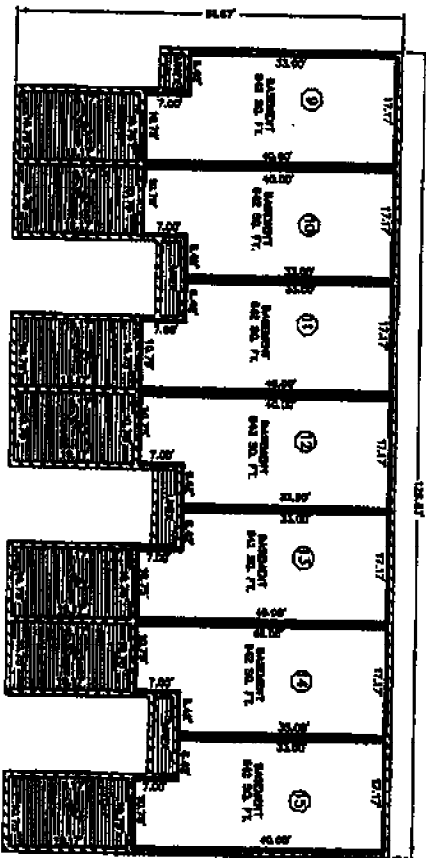
STANFORD COLLEGE COMMUNITY - ROSELLE

4





 ROBERT L. SMITH #166052
 PROPOSED DATE 11-20-03



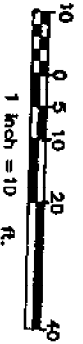
BASEMENT PLAN BUILDING #1 UNITS 1-8
AND BUILDING #3 UNITS 16-23



BASEMENT PLAN BUILDING #2
UNITS 9-15

-  = LIMITED COMMON ELEMENT
-  = GENERAL COMMON ELEMENT
-  = UNIT #

NOTE:
UNITS 1-8 MUST BE BUILT
UNITS 9-23 NEED NOT BE BUILT
NOTE:
ALL WALLS ARE 0.875" WIDE
UNLESS OTHERWISE NOTED



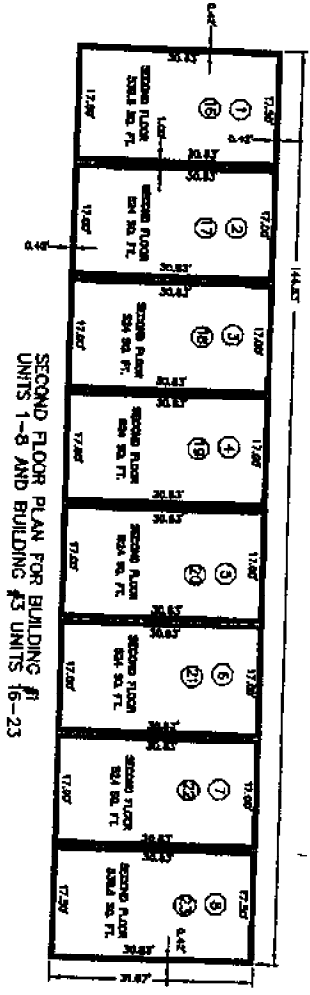
Robert L. Smith
ROBERT L. SMITH # 16062
PROPOSED DATE 11-20-03

BASEMENT PLAN

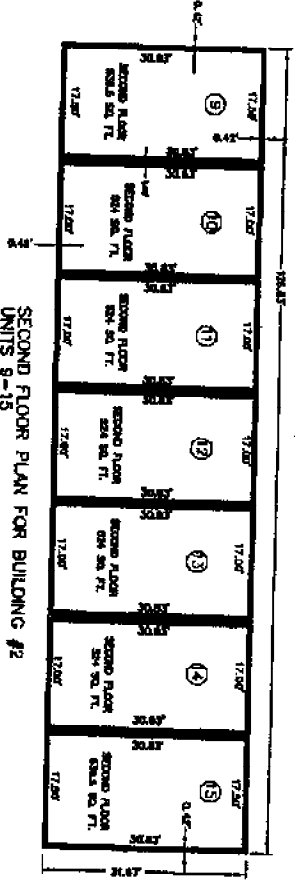
LEWIS ASSOCIATES, INC.
PROFESSIONAL ENGINEERS & ARCHITECTS
1700 UNIVERSITY BLVD., SUITE 3
MEMPHIS, TENNESSEE 38102-1001
TEL: (901) 426-2000
FAX: (901) 426-2000
WWW.LEWISASSOCIATES.COM

DATE: 11-20-03
SCALE: AS SHOWN
SHEET NO. 5

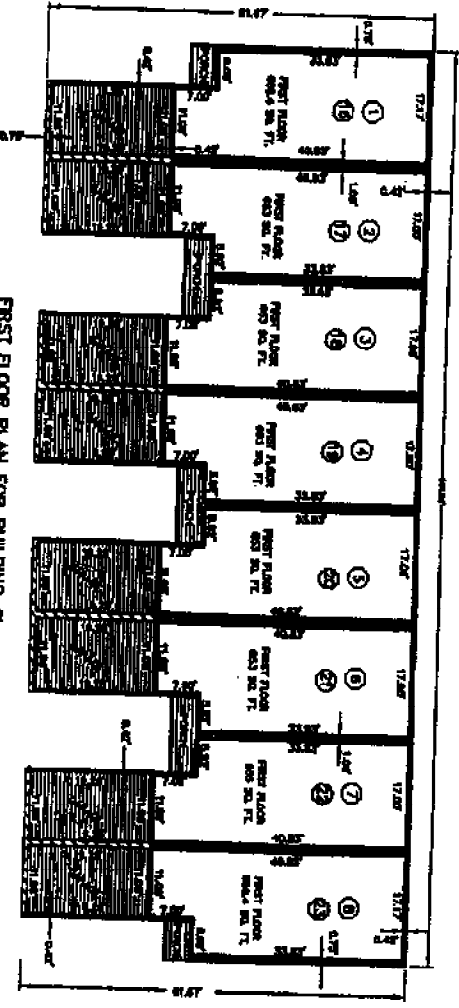
STAFFORD COURT CONDOMINIUM
MEMPHIS, TENNESSEE



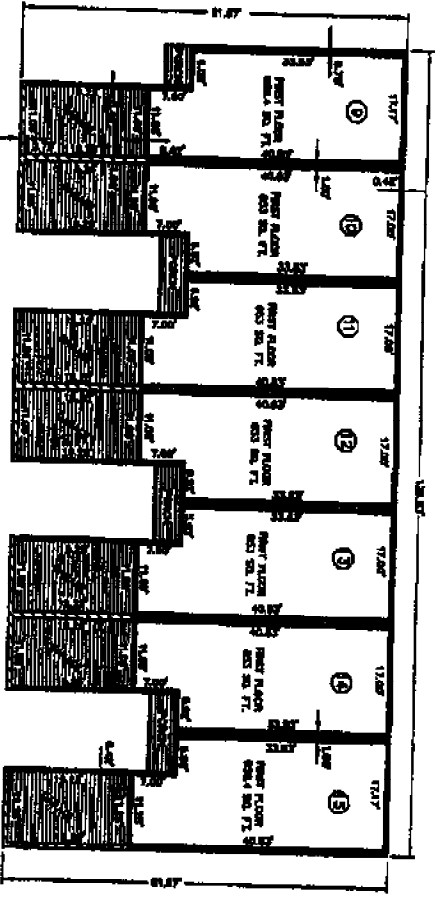
SECOND FLOOR PLAN FOR BUILDING #1
UNITS 1-8 AND BUILDING #3 UNITS 16-23



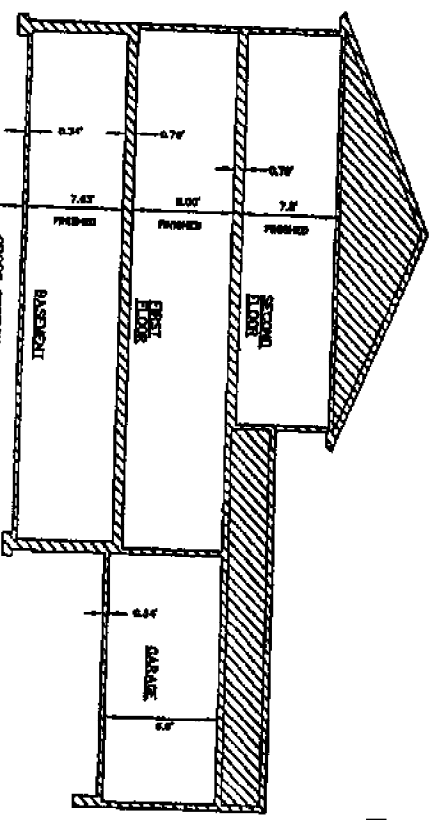
SECOND FLOOR PLAN FOR BUILDING #2
UNITS 9-15



FIRST FLOOR PLAN FOR BUILDING #1
UNITS 1-8 AND BUILDING #3 UNITS 16-23

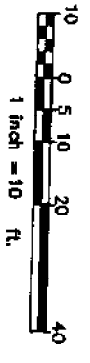


FIRST FLOOR PLAN FOR BUILDING #2
UNITS 9-15



LIMITED COMMON ELEMENT
 GENERAL COMMON ELEMENT
 UNIT #

NOTE:
UNITS 1-8 MUST BE BUILT
UNITS 9-23 NEED NOT BE BUILT



FLOOR PLANS



ROBERT L. SMITH #916852
PROPOSED DATE 11-20-03

Robert L. Smith

LENNER ASSOCIATES, INC.
PROFESSIONAL ENGINEERS & SURVEYORS
1100 BENTLEY BLVD., SUITE 200
MEMPHIS, TENNESSEE 38103-3000
TEL: (901) 521-7700
FAX: (901) 521-7700

STANFORD COURT CONDOMINIUM -
MEMPHIS, TENNESSEE
SHEET NO. 6

F-02

L.A
P.35

W. J. LEHNER

1920

Volume 4 Page 35

revised

PLAT OF "F. B. WALLACE GRATIOT FARMS NO. 1" SUBDIVISION

Part of N 1/2 of S. W. 1/4 of Sec.
4 T19N R13E, ERIN TWP.
Macomb County Mich.

Page 9-1920
Geo. L. Hoffman

KELLY
Place of beginning

344	343	342	341	340	339	338	337	336	335	334	333	332	331	330	329	328	327	326	325	324	323	322	321	320	319	318	317	316	
529.667	529.667	529.667	529.667	529.667	529.667	529.667	529.667	529.667	529.667	529.667	529.667	529.667	529.667	529.667	529.667	529.667	529.667	529.667	529.667	529.667	529.667	529.667	529.667	529.667	529.667	529.667	529.667	529.667	529.667

Walter J. Lehner
County Engineer
Macomb County Mich.



DEDICATION.

KNOW ALL MEN BY THESE PRESENTS, THAT I, Ernest W. Wallace, as PROPRIETOR, HAVE CAUSED THE LAND IN THE ANNEXED PLAT, TO BE SURVEYED, LAID OUT, AND PLATTED, BY ME, AS F.B. WALLACE GRATIOT FARMS NO. 1 SUBDIVISION, PART OF S. 1/2 OF S. 4 T19N R13E, ERIN TWP., MACOMB COUNTY, MICHIGAN, and that the streets and alleys as shown on said plat are hereby dedicated to the use of the public. SIGNED AND SEALED IN PRESENCE OF Ernest W. Wallace (Witness) Walter J. Lehner (Notary Public)

STATE OF MICHIGAN,)
COUNTY OF MACOMB,) SS.

ON THIS 19th DAY OF October, 1920, BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID COUNTY, PERSONALLY ONE THE ABOVE NAMED, Ernest W. Wallace known to me to be the person who executed the above dedication, and acknowledged the same to be his free act and deed.

Ernest W. Wallace
Notary Public

MY COMMISSION EXPIRES December 1st 1922

MASCO

15-001

L7
P97

1924 W.J. LEHNER No. 123

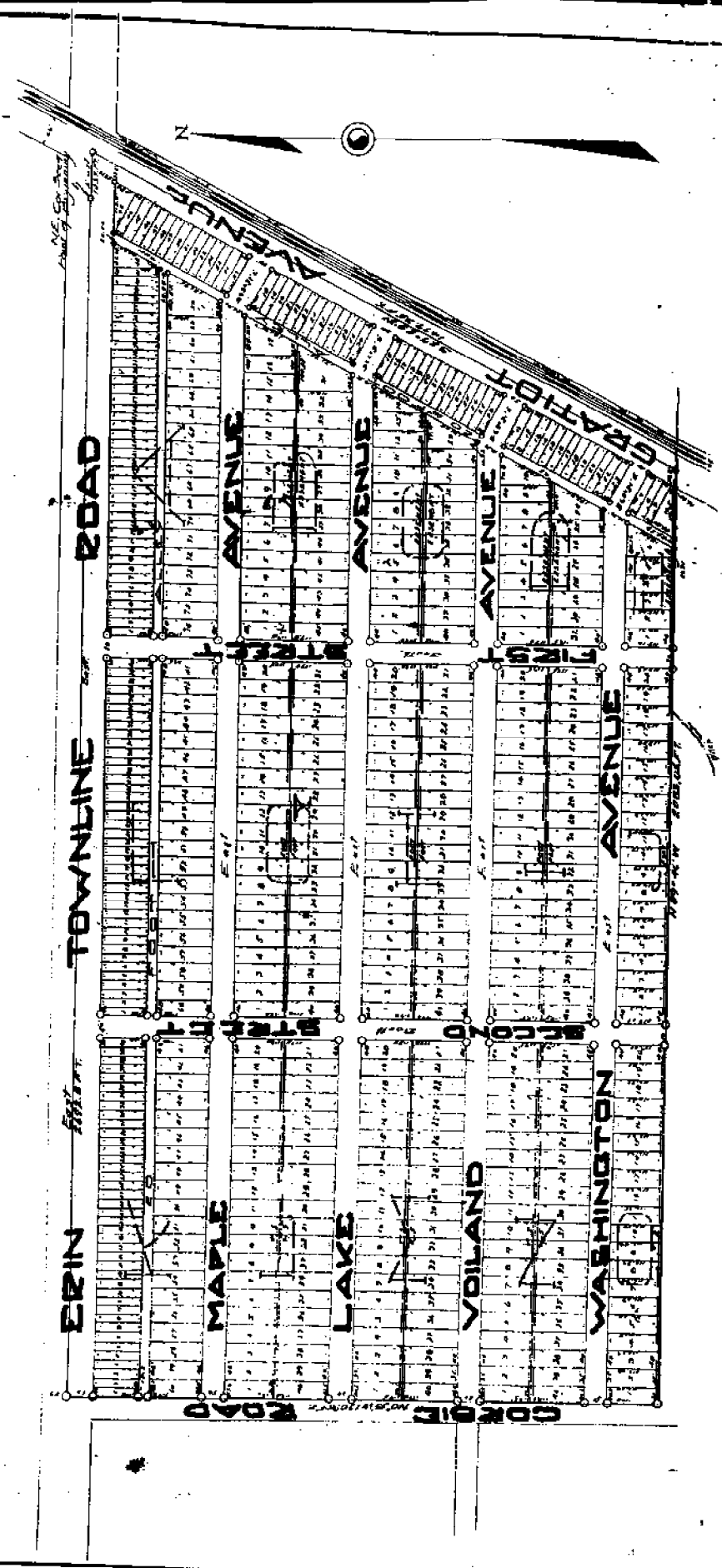
GRATIOT MASONIC PARK
 A SUBDIVISION OF PART OF THE NW/4 OF SEC 4 AND PART OF THE NW/4 OF SEC 12 IN TWP
 ERIN TWP MICHIGAN

Examined and approved
 July 16, 1924
[Signature]

SEALS
 1/2 200.

7 97

WALTER LEHNER, REG. C.E.
 M.T. CLEMENS, MICHIGAN



L. 40
P. 38

1957 B. Warner No. 42

Sheet 38 Page 40

VENETIAN VILLAGE COURTS
 A SUB'N. OF PART OF THE N.W. 1/4 OF SEC. 4, T.1 N., R.13 E.,
 ERIN TOWNSHIP, MACOMB CO., MICHIGAN.

SCALE—ONE INCH=100 FEET.

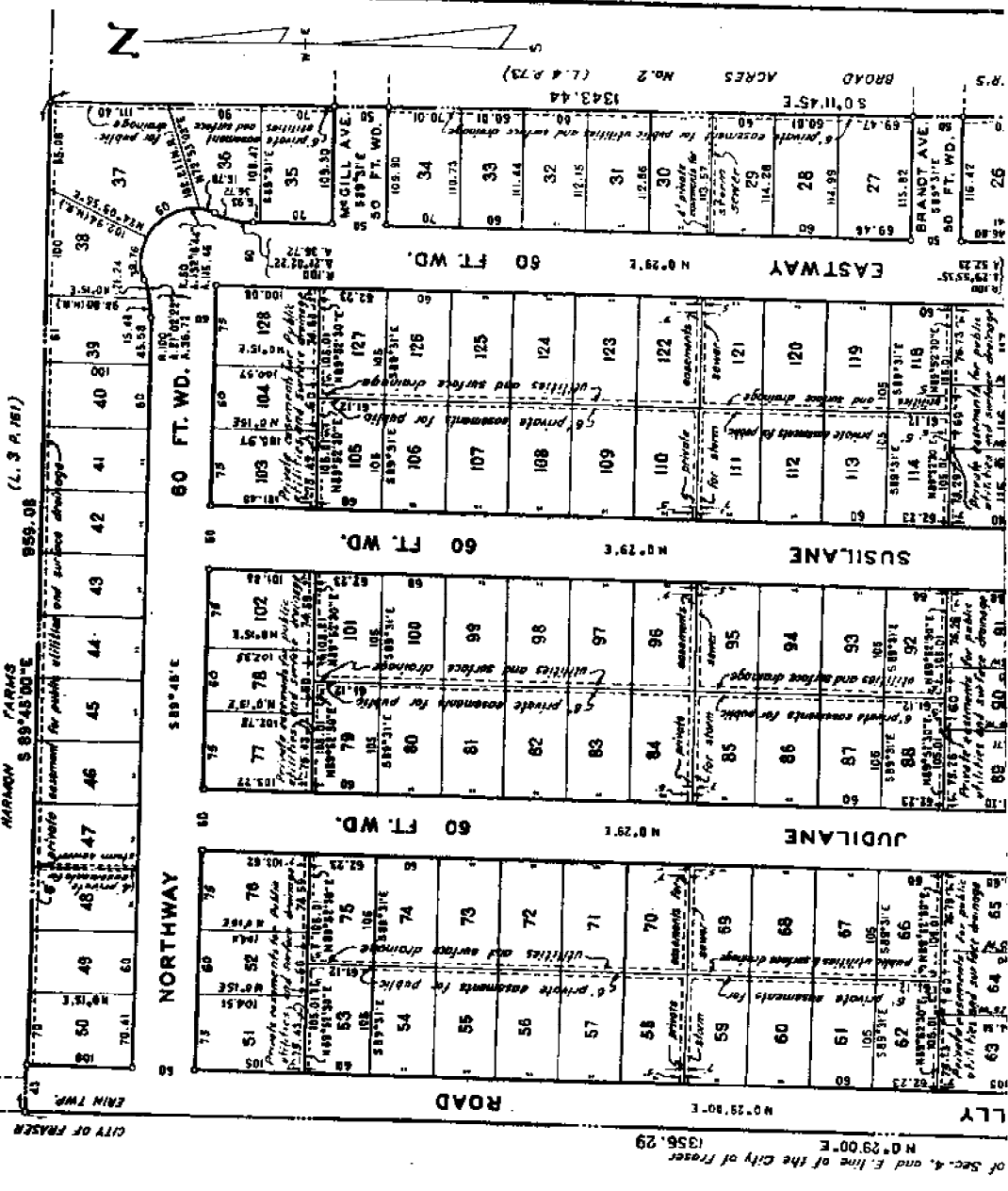
NOTE: All dimensions are shown in feet and decimble thereof.
 All curvilinear dimensions are shown along the arc.
 Side lines of lots fronting on curvilinear street lines are radii thereto unless otherwise noted as (R.R.).

SHEET 1
 OF
 2 SHEETS

WARNER AND WARNER,
 Registered Civil Engineers
 222 East Main Street,
 Detroit 26, Mich.

362010

MACOMB FARMS (L. S. A. 161) 959.08



LITTLE MACK AVE. 120' WD.

E 1/4 Pst Sec. 4
POINT OF BEGINNING

CERTIFICATE

County of Macomb

On this 11th day of April

public in and for said county personally came the above named Surveyor and his assistants and witnesses and after a full and complete examination of the records and plans on file in the office of the Surveyor and acknowledged the same to be the correct and true copy of the original as the same is on file in the office of the Surveyor.

James J. Prue
Surveyor
County of Macomb

By Commission *James J. Prue* 1941

CERTIFICATE OF THE BOARD OF COUNTY ROAD COMMISSIONERS

This act was approved on the 25 day of April A. D. 1941

James J. Prue
Surveyor
County of Macomb
Carl B. Grandenack
County Treasurer

RECORDERS OFFICE
County of Macomb

Received for Record this 24th day of April A. D. 1941
in Liber 22 of Books on Page 24
Lucia Mayetta, Deputy Register

CERTIFICATE OF APPROVAL BY BOARD OF COUNTY ROAD COMMISSIONERS

This plat has been examined and approved on the 17th day of April 1941 by the Board of County Road Commissioners of Macomb County

Harry W. Sunday
Chairman
Raymond S. Finch
Member
Bob E. Moore
Member

Subdivision of Section 4 Township 4 North Range 16 East
Macomb County Michigan
The following is a description of the land described as follows:
The land is situated in the East 1/2 of Section 4 Township 4 North Range 16 East Macomb County Michigan and is bounded on the North by the line of Section 4 Township 4 North Range 16 East Macomb County Michigan and on the South by the line of Section 4 Township 4 North Range 16 East Macomb County Michigan and on the East by the line of Section 4 Township 4 North Range 16 East Macomb County Michigan and on the West by the line of Section 4 Township 4 North Range 16 East Macomb County Michigan.

Frank Biehl
Surveyor of Drain Township

By Commission *Frank Biehl* 1941

Frank Biehl
Surveyor of Drain Township

Helen Versee
Helen Versee

CERTIFICATE OF THE BOARD OF TOWNSHIP CLERKS

This act was approved by the Board of Township Clerks of Drain Township Macomb County Michigan at a meeting held April 10 1941

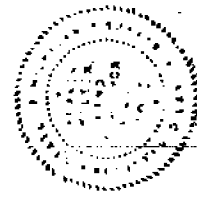
Alfred Schott
Township Clerk ALFRED J. SCHOTT

Surveyors Certificate
I hereby certify that the plat hereon delineated is a correct one and that permanent metal monuments consisting of bars 1/2 in diameter and 43 1/2 inch long encased in a concrete cylinder 4 1/2 in diameter and 43 1/2 in length have been placed at points marked thus (a) as thereon shown 21 holes in the boundaries of the land plat at all intersections of streets and at intersections of streets with the boundaries of the plat as shown on said plat.

Vermon Wilson
Reg. Land Surveyor 3032

Examined and Approved

Alfred Schott
Township Clerk



17-061

L. A. B. P. 27

1959

B. WARNER No. 42

ORIGINAL

Leasing & Property

SHADOWOODS No. 2
 A SUBN. OF PART OF THE S. 1/2 OF SEC. 4, T. 1 N., R. 13 E.,
 ERIN TOWNSHIP, MACOMB COUNTY, MICHIGAN.

SCALE: ONE INCH = 100 FEET.

NOTE: All dimensions are shown in feet and decimals thereof. All curvilinear dimensions are shown in feet and decimals. Side lines of lots fronting on streets are shown as straight lines unless otherwise noted as (C.C.).

WARNER AND WARNER,
 Registered Civil Engineers
 and Land Surveyors,
 224 Forest Road,
 Detroit 26, Mich.

SHEET 1 OF 2

415472

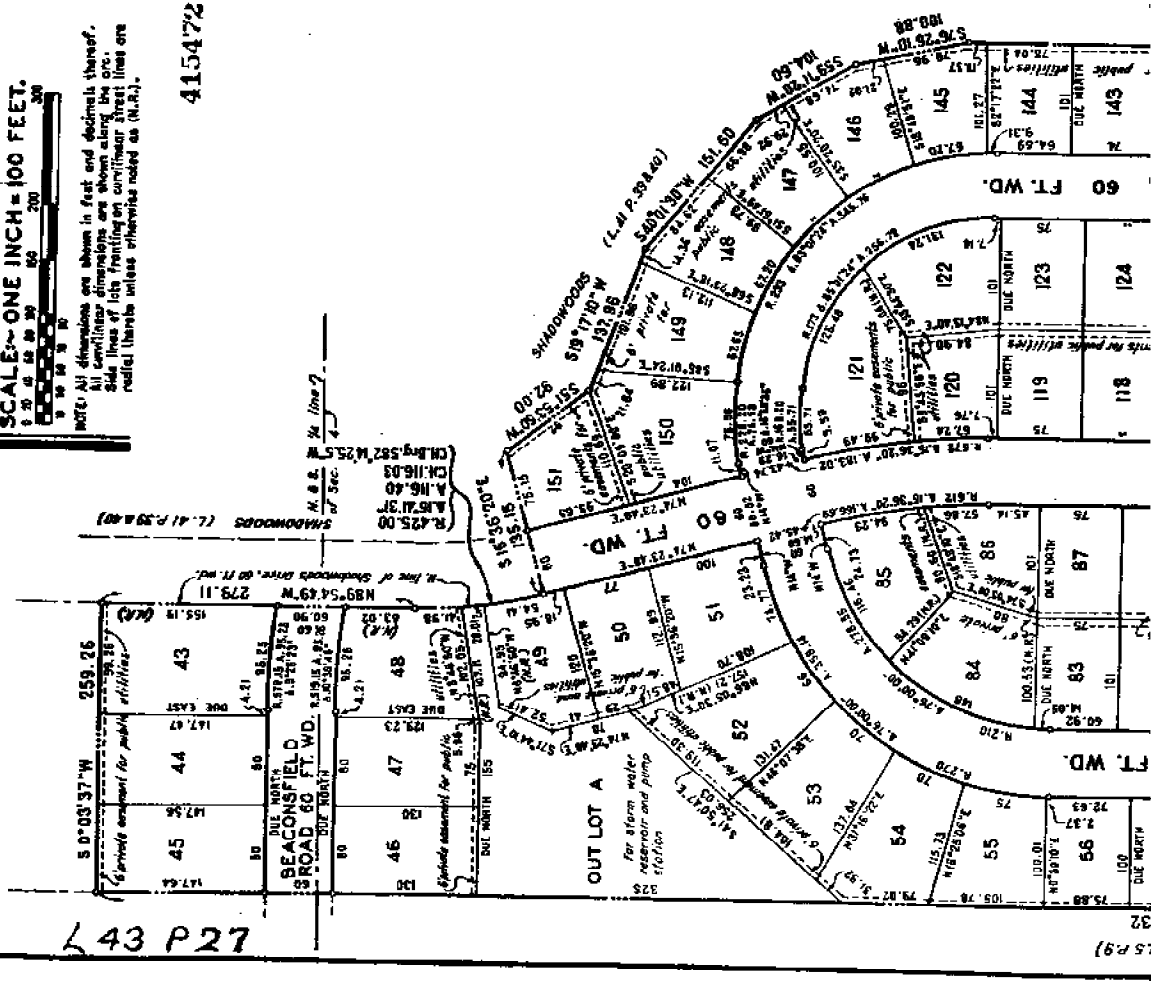
SURVEYORS CERTIFICATE

I HEREBY CERTIFY THAT THE PLAT HEREON DELINEATED IS A CORRECT ONE, AND THAT PERMANENT MONUMENTS CONSISTING OF IRON RODS ONE HALF INCH IN DIAMETER AND 36 INCHES IN LENGTH, ENCASED IN CONCRETE COLUMNS 4 INCHES IN DIAMETER AND 36 INCHES IN LENGTH, HAVE BEEN PLACED AT ALL POINTS MARKED THIS (C) AS THESE SHOWN AT ALL ANGLES IN THE BOUNDARIES OF THE LAND PLATTED, AT ALL INTERSECTIONS OF THE LINES OF STREETS, AND AT INTERSECTIONS OF THE LINES OF STREETS WITH THE BOUNDARIES OF THE PLAT.

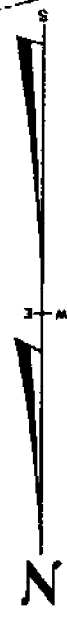
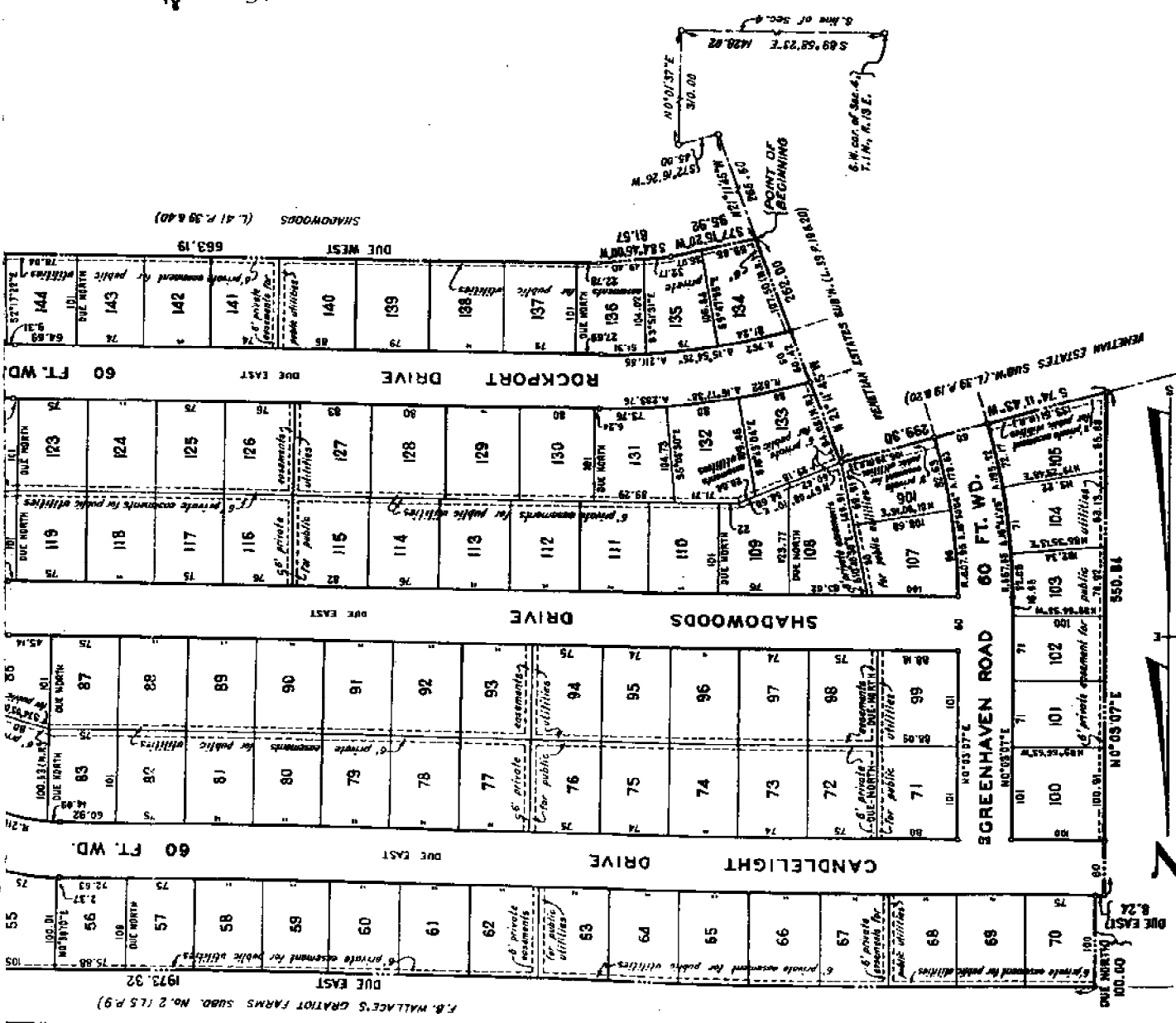
BURTON WARNER, REG. LAND SURVEYOR

DESCRIPTION

THE LAND ENRACED IN THE ANNEXED PLAT OF SHADOWOODS NO. 2, A SUBN. OF PART OF THE S. 1/2 OF SEC. 4, T. 1 N., R. 13 E., ERIN TOWNSHIP, MACOMB COUNTY, MICHIGAN, COMPRISING LOTS 43 THROUGH 151 AND OUTLOT A, IS FURTHER DESCRIBED AS FOLLOWS, TO WIT: COMMENCING AT THE S.W. CORNER OF SECTION 4, T. 1 N., R. 13 E., AND PROCEEDING THENCE ALONG THE S. LINE OF SECTION 4, S. 89° 58' 29" E., 1428.02'; THENCE ALONG THE E. 1/2 BOUNDARY OF VENETIAN ESTATES SUBN. (L. 39, PLATS, P. 19 AND 20), N. 0° 01' 37" E., 310.00' TO A POINT ON THE S. BOUNDARY OF SHADOWOODS SUBN. 1, S. 72° 16' 26" W., 45.00'; THENCE ALONG THE S. BOUNDARY OF SAID SHADOWOODS SUBN. 1, S. 11° 45' W., 265.50' TO THE POINT OF BEGINNING OF SHADOWOODS NO. 2 SUBN.; SAID POINT BEING ALSO THE N.E. CORNER OF SAID SHADOWOODS SUBN. 1, THENCE CONTINUING ALONG THE E. 1/2 BOUNDARY OF SAID VENETIAN ESTATES SUBN. 1, N. 21° 11' 45" W., 264.00'; THENCE ALONG THE E. 1/2 BOUNDARY OF SAID VENETIAN ESTATES SUBN. 1, S. 74° 11' 43" W., 259.30'; THENCE N. 0° 01' 07" E., 550.84'; THENCE DUE EAST, 8.24'; THENCE DUE NORTH, 100.00' TO A POINT ON THE S. LINE OF P. B. ALLACIS GRANITE FARMS SUBD. NO. 2 (L. 5, P. 9); THENCE ALONG SAID LINE DUE EAST, 1973.32'; THENCE S. 0° 03' 37" W., 259.26' TO THE BOUNDARY OF SHADOWOODS SUBN. 1, THENCE ALONG SAID BOUNDARY, S. 89° 54' 49" W., 279.11', AND CONTINUING ON A CURVE TANGENT TO LAST DESCRIBED LINE AND CONVEX TO THE SOUTH, RADIUS 425.00', CENTRAL ANGLE 15° 41' 31" (THE CHORD OF SAID CURVE BEARS, S. 82° 14' 25.5" W., 116.03'); A DISTANCE OF 116.40' AND CONTINUING ALONG THE BOUNDARY OF SAID SHADOWOODS SUBN. 1, S. 15° 36' 20" E., 135.15' AND S. 31° 53' 50" W., 92.00', AND S. 19° 17' 10" W., 137.96', AND S. 40° 01' 30" W., 151.60', AND S. 59° 11' 20" W., 104.60', AND S. 76° 26' 10" W., 100.85', AND DUE WEST, 669.19', AND S. 84° 46' 00" W., 81.57', AND S. 77° 15' 20" W., 95.92' TO THE POINT OF BEGINNING.



March 12, 1959
 2:20 P. (Plats)
 45
 77
 Raymond K. G. sig.
 Chicago



F.B. WALLACE'S GRATIOT FARMS SUBD. No. 2 (L.S.P. 9) 1973.32

1201

L. 66
P. 19

1975

F. J. BRIDGES No. 5779

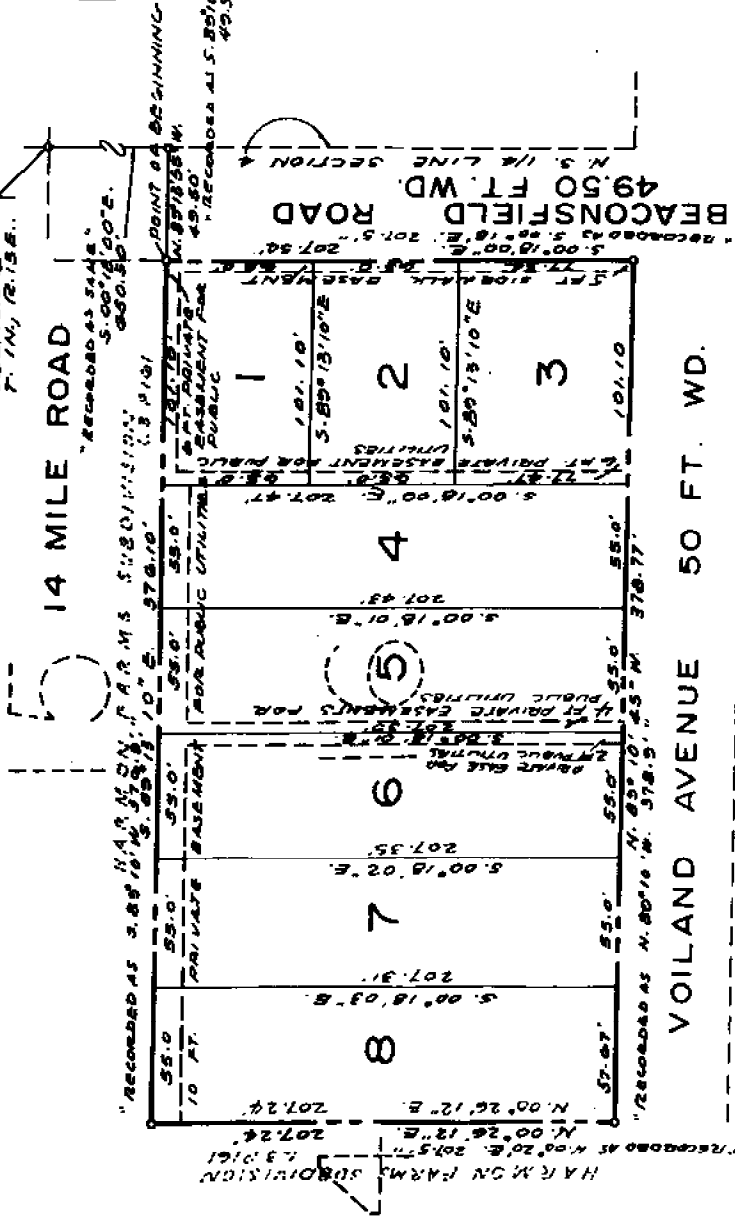
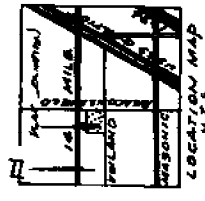
NORINE SUBDIVISION

A PART OF THE N. 1/2 OF THE N.W. 1/4 OF SECTION 4, T. 1 N., R. 15 E.
CITY OF ROSEVILLE MACOMB COUNTY, MICHIGAN

FEAT LEGEND.
All dimensions are shown in feet
All curvilinear dimensions are in chord lengths
Bearings were established from recorded Harmon Farms Subdivision, L. 3, P. 161
The symbol "o" indicates a concrete monument
All lot markers are iron pipes 18" long and 1/2" in diameter



REGISTER NO. A 300780
FITZ J. BRIDGES, P.E.
REGISTERED ENGINEER & SURVEYOR
273 SOUTH GRATIOT AVENUE
MOUNT CLEMENS, MICHIGAN 48043



RECORDING DATA
EXAMINED AND APPROVED
Date April 16 1975
[Signature]
MILYSON GREEN
STATE TOLSON
[Signature]

SURVEYOR'S CERTIFICATE

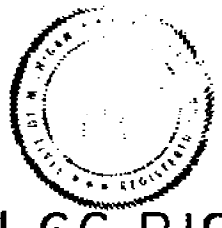
I, Fitz J. Bridges, surveyor, certify that I have surveyed, divided, and mapped the land shown on this plat, described as follows: The land embraced in the annexed plat Norine Subdivision, a portion of Lot 16 Harmon Farms L. 3 P. 161, a part of the N. 1/2 of the N. W. 1/4 of Section 4 T. 1 N. R. 15 E., Macomb County, Michigan.

CITY TREASURER'S CERTIFICATE

SURVEYOR'S CERTIFICATE

I, Fitz J. Bridges, surveyor, certify that I have surveyed, divided, and mapped the land shown on this plat, described as follows: The land embraced in the annexed plat Narine Subdivision, a replat of Lot 16 Harmon Farms L. 3 P. 16, a part of the N. 1/2 of the N. W. 1/4 of Section 4 T. 1 N. R. 13 E., City of Roseville, Macomb County, Michigan. Commencing at the North 1/4 corner of Section 4, T. 1 N. R. 13 E., thence S. 90° 15' 00" E., 639.50 ft. along the North and South 1/4 line of Section 4, thence N. 89° 13' 55" W., 49.50 ft. to the point of beginning; thence S. 00° 18' 00" E., 207.54 ft. along the Westerly right of way of Beaconsfield Road (49.50 ft. wd.); thence N. 89° 10' 45" W., 378.77 ft. along the Northerly right of way of Volland Avenue (50 ft. wd.); thence N. 00° 26' 12" E., 207.74 ft. along the Easterly line of Lot 14, Harmon Farms Subdivision; thence S. 89° 13' 10" E., 376.10 ft. along the Southerly line of Lot 15, Harmon Farms Subdivision to the point of beginning and containing Lots 1 through 6 inclusive. (1.797 acres)

That I have made such survey, land-division and plat by the direction of the owners of such land. That such plat is a correct representation of all the exterior boundaries of the land surveyed and the subdivision of it.
That surety has been deposited with the municipality for required monuments and lot markers to be located in the ground, as required by Section 125 of the Act.
That the accuracy of survey is within the limits required by Section 126 of the Act.
That the bearings shown on the plat are expressed as required by Section 126 (3) of the Act as explained in the legend.



Prepared and Drafted By:

Fitz J. Bridges
Consulting Engineer
273 South Gratiot Avenue
Mount Clemens, Michigan 48043

Fitz J. Bridges, P.E.
Registered Land Surveyor, #5779
Date of Certificate: 13 Oct 72

PROPRIETOR'S CERTIFICATE

We as proprietor certify that we cause the land embraced in this plat to be surveyed, divided, mapped and dedicated as represented on this plat; and that the public utility easements are private easements and that all other easements are for the uses shown on the plat.

WITNESSES:

Ernest Bortolin
Ernest BORTOLIN
15210 Toepfer
East Detroit, MI 48021

Norine Bortolin
NORINE BORTOLIN
15210 Toepfer
East Detroit, MI 48021

ACKNOWLEDGEMENT

STATE OF MICHIGAN)
County of MACOMB) ss

Personally came before me this 13 day of OCTOBER, 1972, the above named Ernest Bortolin and Norine Bortolin his wife to me known to be the persons who executed the foregoing instrument and acknowledged that they executed the same as their free act and deed.

NOTARY PUBLIC *Phyllis J. Reynolds*
Phyllis J. Reynolds
Macomb County, Michigan
My Commission Expires: 11/25/74

CITY TREASURER'S CERTIFICATE

The records in my office show no unpaid taxes of special assessments for the five years preceding SEP 25 1974 involving lands included in this plat, in the City of Roseville.

Joseph P. McGloskey
Joseph P. McGloskey, City Treasurer
Macomb County

COUNTY TREASURER'S CERTIFICATE

The records in my office show no unpaid taxes of special assessments for the five years preceding SEP 25 1974 involving the lands included in this plat, in the County of Macomb.

Adam E. Nowakowski
Adam E. Nowakowski, County Treasurer
Macomb County

COUNTY DRAIN COMMISSION CERTIFICATE

Approved on 11/27/72 as complying with Section 192 of Act 288, P.A. 1967 and the applicable rules and regulations published by my office in the County of Macomb.

Thomas S. Welsh
Thomas S. Welsh, Drain Commissioner

CERTIFICATE OF MUNICIPAL APPROVAL

I certify that this plat was approved by the Council of the City of Roseville at a meeting held on 10/16/72 and was reviewed and found to be in compliance with Act 288, P.A. 1967. Sanitary Sewer and Water facilities are existing and ready for connection. Adequate surety has been posted with the City Clerk for the placing of monuments and markers within a reasonable length of time, not to be exceeded one year from above date as required by Section 125 of the Acts. Municipality has adopted a subdivision control and zoning ordinance and waives the minimum lot size specified.

Joseph G. Miller
Joseph G. Miller, City Clerk

COUNTY PLAT BOARD CERTIFICATE

This plat has been reviewed and is approved by the Macomb County Plat Board on JANUARY 16 1975 as being in compliance with all of the provisions of Act 288, P.A. 1967, and the Plat Board's applicable rules and regulations.

Edna Miller
Edna Miller, Clerk, Registrar of Deeds
Macomb County

Adam E. Nowakowski
Adam E. Nowakowski, County Treasurer

RECORDING CERTIFICATE

STATE OF MICHIGAN)
County of MACOMB) ss

This plat was received on 21st day of APRIL, 1975, at 2:25 P.M. recorded in Liber 56 of Plats on Page 19

Raymond R. Craig
Raymond R. Craig, Deputy Registrar of Deeds

L66 P19